CITY OF LAKE WORTH

PLANNING AND ZONING COMMISSION AGENDA

3805 ADAM GRUBB
LAKE WORTH, TEXAS 76135
TUESDAY, APRIL 17, 2018

REGULAR MEETING: 6:30 PM
Held in the City Council Chambers

A. CALL TO ORDER

A.1 ROLL CALL

A.2 INVOCATION AND PLEDGE OF ALLEGIANCE

B. MINUTES

B.1 Approve minutes of the March 20, 2018 Planning & Zoning Commission meeting.

C. PUBLIC HEARINGS

C.1 Public Hearing to consider Planning & Zoning Case No. PZ-2018-03, a proposed replat being all of 0.609-acre parcel(s) of land known as Block 25, Lot 3 (south half) and Lot 4, Indian Oaks Subdivision of the records of Tarrant County, Texas. The proposed replat's new legal description will be Block 25, Lot(s) 3R and 4R, Indian Oaks Subdivision, commonly known as 3300 Mohawk Trail (lot 4R) and 3308 Mohawk Trail (lot 3R), Lake Worth, Texas.

C.2 Public Hearing to consider Planning & Zoning Case No. PZ-2018-04, a proposed preliminary plat being all of a 0.5030-acre tract of land legally known as Abstract 1552, Tract 2HH, Moses Townsend Survey of the records of Tarrant County, Texas. The proposed preliminary plat's new legal description will be Block 1, Lot(s) 3 and 4, Moses Townsend Addition, commonly known as 7229 Charbonneau and 3612 Mohawk Trail, Lake Worth, Texas.

C.3 Public Hearing to consider Planning & Zoning Case No. PZ-2018-05, a proposed final plat being all of a 0.5030-acre tract of land legally known as Abstract 1552, Tract 2HH, Moses Townsend Survey of the records of Tarrant County, Texas. The proposed final plat's new legal description will be Block 1, Lot(s) 3 and 4, Moses Townsend Addition, commonly known as 7229 Charbonneau and 3612 Mohawk Trail, Lake Worth, Texas.

C.4 Public Hearing to consider Planning & Zoning Case No. PZ-2018-06, a proposed replat being all of 3.349-acres of land known as Block 32, Lot(s) 1-4 and 9-12, Indian Oaks Subdivision of the records of Tarrant County, Texas. The proposed replat's new legal description will be Block 32, Lot(s) Lot 1R1, 1R2, 2R1, 2R2, 3R, 4R1, 4R2, 9R1, 9R2, 10R, 11R1, 11R2, 12R1, and 12R2, Indian Oaks Subdivision, which is off Shawnee Trail, Apache Trail, and Caddo Trail, Lake Worth, Texas.

C.5 Public Hearing to consider Planning & Zoning Case No. PZ-2018-07, to consider an Ordinance amending Ordinance No. 741, so as to change the zoning designation of an approximately 21.014-acre parcel of land, legally known as Block A, Lot 1R, Lake Worth Towne Center, Lake Worth, Tarrant County, Texas, being that all of the certain called 21.014-acre parcel of land recorded in the deed records of Tarrant County, Texas, from a zoning designation of "PC" – Planned Commercial for the use of a Walmart to a zoning designation of "PC" – Planned Commercial for the use of Retail for a Walmart Supercenter with a Fuel Station/Convenience Store, along with an amended development plan and site plan approval and by amending the Official Zoning Map to reflect such change. The property to be considered for re-zoning is generally described as 21.014-acre parcel of land located at 6360 Lake Worth Blvd., Lake Worth, Texas.

D. EXECUTIVE SESSION

The Planning and Zoning Commission may enter into closed Executive Session as authorized by Chapter 551, Texas Government Code. Executive Session may be held at the end of the Regular Session or at any time during the meeting that a need arises for the Planning and Zoning Commission to seek advice from the city attorney (551.071) as to the posted subject matter of this Planning and Zoning Commission meeting.

The Planning and Zoning Commission may confer privately with its attorney to seek legal advice on any matter listed on the agenda or on any matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551, Texas Government Code.

E. EXECUTIVE SESSION ITEMS – PLANNING & ZONING COMMISSION MAY TAKE ACTION ON ANY ITEMS DISCUSSED IN EXECUTIVE SESSION LISTED ON THE AGENDA.

No items for this category.

F. ADJOURNMENT

All items on the agenda are for discussion and/or action.

Certification

I do hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, 3805 Adam Grubb, City of Lake Worth Texas in compliance with Chapter 551, Texas Government Code on **Friday, April 13, 2018 at 5:00 p.m.**

_____

Planning & Zoning Administrator

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (817) 237-1211 ext. 105 for further information.

Lake Worth Planning and Zoning Commission Meeting – April 17, 2018

Agenda Item No. B.1

FROM: Suzanne Meason, Planning & Zoning Administrator

ITEM: Approve minutes of the March 20, 2018 Planning & Zoning Commission meeting.

SUMMARY:

The minutes are approved by majority vote of the Commission at the Planning and Zoning Commission meeting.

The Planning and Development office prepares action minutes for each Planning and Zoning Commission meeting. The minutes for the previous meeting are placed on the agenda for review and approval by the Commission. Upon approval of the minutes, an electronic copy will be uploaded to the City's website.

FISCAL IMPACT:

N/A

ATTACHMENTS:

1. March 20, 2018 Planning and Zoning Commission meeting minutes

RECOMMENDED MOTION OR ACTION:

Approve minutes of the March 20, 2018 Planning and Zoning Commission meeting.

MINUTES OF THE REGULAR MEETING
OF THE PLANNING & ZONING COMMISSION OF THE
CITY OF LAKE WORTH, TEXAS
HELD IN CITY HALL, COUNCIL CHAMBERS, 3805 ADAM GRUBB
TUESDAY, MARCH 20, 2018

REGULAR MEETING: 6:30 PM

A. CALL TO ORDER.

Chair Sue Wenger called the Planning & Zoning Commission meeting to order at 6:30 p.m.

A.1 ROLL CALL.

Present:	Don Riley	Place 1
	Sherrie Kubala Watkins	Place 2
	Jeannie Turley	Vice Chair, Place 3
	Troy Jones	Place 5
	Dianne Smith	Place 6
	Sue Wenger	Chair, Place 7
Absent:	Patty Biggers	Place 4
Staff:	Stacey Almond	City Manager
	Debbie Whitley	Assistant City Manager/Finance Director
	Barry Barber	Director of Building Development Services
	Suzanne Meason	Planning and Zoning Administrator
	Drew Larkin	City Attorney

A.2 INVOCATION AND PLEDGE OF ALLEGIANCE.

Chair Sue Wenger gave invocation and attendees recited the pledge of allegiance.

B. MINUTES

B.1 APPROVE MINUTES OF THE JANUARY 16, 2018 PLANNING AND ZONING COMMISSION MEETING.

APPROVED

COMMISSIONER JEANNIE TURLEY MADE A MOTION, SECONDED BY COMMISSIONER DIANE SMITH, TO APPROVE THE MINUTES OF THE MARCH 20, 2018 PLANNING AND ZONING COMMISSION MEETING AS PRESENTED.

MOTION TO APPROVE CARRIED 6-0.

C. PUBLIC HEARINGS

C.1 PUBLIC HEARING TO CONSIDER PLANNING & ZONING CASE NO. PZ-2018-01, AN ORDINANCE ADOPTING THE 2035 COMPREHENSIVE PLAN AND FUTURE LAND USE MAP.

APPROVED

Chair Sue Wenger opened the public hearing at 6:32 pm.

City Manager, Stacey Almond introduced Jenifer Reiner with Dunaway and Associates to present the 2035 Comprehensive Plan and Future Land Use Map.

Jenifer Reiner with Dunaway and Associates presented a power point presentation of the proposed 2035 Comprehensive Plan and Future Land Use Map and briefly discussed the different aspects of the plan.

Mike Branum with NAS/JRB was present to commend the City on their effort with the proposed plan and noted that the plan was a move in the right direction, trying to achieve compatibility with NAS/JRB compatible uses.

There being no one else wishing to speak, Chair Wenger closed the public hearing at 7:01 pm and called for a motion.

COMMISSIONER SHERRIE WATKINS MADE A MOTION, SECONDED BY COMMISSIONER JEANNIE TURLEY, TO APPROVE AGENDA ITEM C.1, WHICH IS PLANNING AND ZONING CASE #PZ-2018-01 AS PRESENTED.

MOTION TO APPROVE CARRIED 6-0.

C.2 PUBLIC HEARING TO CONSIDER PLANNING & ZONING CASE NO. PZ-2018-02, AN ORDINANCE AMENDING ORDINANCE NO. 883, SO AS TO CHANGE THE ZONING DESIGNATION OF AN APPROXIMATELY 0.2875 ACRE TRACT OF LAND, LEGALLY KNOWN AS ABSTRACT 1552, TRACT 2E, MOSES

TOWNSEND SURVEY, LAKE WORTH, TARRANT COUNTY, TEXAS, BEING THAT ALL OF THE CERTAIN CALLED 0.2875 ACRE TRACT OF LAND RECORDED IN THE DEED RECORDS OF TARRANT COUNTY, TEXAS, FROM A ZONING DESIGNATION OF "PC" – PLANNED COMMERCIAL FOR THE USE OF A CHURCH TO A ZONING DESIGNATION OF "PC" – PLANNED COMMERCIAL FOR THE USE OF GENERAL OFFICES (I.E.…DOCTOR, DENTIST, CLINICS, LABS, ATTORNEY, INSURANCE, TRANSLATION), GRAPHIC DESIGN AND PRINTING, RETAIL (I.E. ANTIQUES, APPLIANCES, DRY GOODS, FURNITURE, FOOD PRODUCTS), ALONG WITH AN AMENDED SITE PLAN APPROVAL AND BY AMENDING THE OFFICIAL ZONING MAP TO REFLECT SUCH CHANGE. THE PROPERTY TO BE CONSIDERED FOR RE-ZONING IS GENERALLY DESCRIBED AS A 0.2875 TRACT OF LAND LOCATED 3701 SHAWNEE TRAIL, LAKE WORTH, TEXAS.

APPROVED

Chair Sue Wenger opened the public hearing at 7:04 pm.

Ms. Suzanne Meason, Planning & Zoning Administrator presented the case to the Commission and advised that Mr. Joe Shirley was in the audience to answer any questions.

There being no questions or comments from the audience, Chair Wenger closed the public hearing at 7:05 pm and called for a motion.

COMMISSIONER SHERRIE WATKINS MADE A MOTION, SECONDED BY COMMISSIONER DIANE SMITH, TO APPROVE AGENDA ITEM C.2, WHICH IS PLANNING & ZONING CASE #PZ-2018-02 AS PRESENTED.

MOTION TO APPROVE CARRIED 6-0.

D. EXECUTIVE SESSION

The Planning and Zoning Commission may enter into closed Executive Session as authorized by Chapter 551, Texas Government Code. Executive Session may be held at the end of the Regular Session or at any time during the meeting that a need arises for the Planning and Zoning Commission to seek advice from the city attorney (551.071) as to the posted subject matter of this Planning and Zoning Commission meeting.

The Planning and Zoning Commission may confer privately with its attorney to seek legal advice on any matter listed on the agenda or on any matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551, Texas Government Code.

There were no items listed in Executive Session.

E. EXECUTIVE SESSION ITEMS – PLANNING & ZONING COMMISSION MAY TAKE ACTION ON ANY ITEMS DISCUSSED IN EXECUTIVE SESSION LISTED ON THE AGENDA.

There were no items listed in Executive Session.

F. ADJOURNMENT

Chair Sue Wenger adjourned the meeting at 7:06 p.m.

APPROVED:

_____
Sue Wenger, Chair
Planning & Zoning Commission

ATTEST:

_____
Suzanne Meason
Planning & Zoning Administrator

Lake Worth Planning & Zoning Commission Meeting – April 17, 2018

Agenda Item No. C.1

From: Suzanne Meason, Planning & Zoning Administrator

Item: Public Hearing to consider Planning & Zoning Case No. PZ-2018-03, a proposed replat being all 0.609-acre parcel(s) of land known as Block 25, Lot 3 (south half) and Lot 4, Indian Oaks Subdivision of the records of Tarrant County, Texas. The proposed replat's new legal description will be Block 25, Lot(s) 3R and 4R, Indian Oaks Subdivision, commonly known as 3300 Mohawk Trail (lot 4R) and 3308 Mohawk Trail (lot 3R), Lake Worth, Texas.

Property Description:
0.609-acre parcel(s) of land, located at 3300 Mohawk Trail and 3308 Mohawk Trail

Property Owner(s):
Stephen J Lyons, 3300 Mohawk Trail, Lake Worth, Texas 76135 and
Norberto Iracheta, 3307 Shawnee Trail, Lake Worth, Texas 76135

Applicant:
Norberto Iracheta, 3307 Shawnee Trail, Lake Worth, Texas 76135

Engineer/Surveyor:
Ron Coombs, Coombs Land Surveying, Inc., PO Box 11370, Fort Worth, Texas 76110

Current Zoning:
"SF1" – Single Family Residential

Proposed Use(s):
"SF1" – Single Family Residential

Existing Road(s):
Mohawk Trail & Osage Trail

Surrounding Zoning:
North: The property to the north is currently zoned SF-1 Single Family Residential.

South: The property to the south is currently zoned SF-1 Single Family Residential.

East: The property to the east is currently zoned SF-1 Single Family Residential.

West: The property to the west is currently zoned SF-1 Single Family Residential.

Summary:

Mr. Norberto Iracheta owns the property located at 3308 Mohawk Trail (vacant lot), which he wants to construct a residence on. It was discovered that Mr. Iracheta's lot was not properly subdivided via a plat and he is required to do so before he can build on the vacant lot. Mr. Iracheta's lot is a portion of a lot and then the other portion of the lot belongs to another property owner (Stephen Lyons). That property owner had to join in the replat with Mr. Iracheta. The plat document has been prepared and reviewed by city staff and is ready to be heard by the Planning and Zoning Commission for recommendation to the City Council.

The case was uploaded into the RCC review tool and those comments (if any) will be presented to the Commission on Tuesday at the meeting.

Public Input:
On Friday, April 6, 2018 as required by State law, the City mailed out eleven (11) letters of Notification for a Public Hearing to all property owners within two hundred (200') feet of the subject site. Notice was also published in the City's paper of record, the Fort Worth Star Telegram on Friday, March 30, 2018. We have received the following in favor/opposition to the request:

1. FOR – no comment forms received.
2. AGAINST – no comment forms received.

Fiscal Impact:
N/A

Attachments:
1. Subdivision Application/Owner Authorization Form
2. Replat Document
3. Public Hearing Notice
4. Public Hearing Notifications (within 200' of subject property)
5. Vicinity Map

Recommended Motion or Action:
Staff's recommends approval of Agenda Item C.1 as presented.

City of Lake Worth
P & Z Department
3805 Adam Grubb
Lake Worth, Texas 76135
817-237-1211 X 111 Fax 817-237-1333

REPLAT APPLICATION

PROPERTY OWNER/DEVELOPER INFORMATION

Company Name:		Contact Person: Norberto Ichaveta	
Address: 3307 Shawnee Tr.	City: Ft. Worth	State: TX	Zip: 76135
Phone: 817.721.6096	Fax:	Email: bi4hire@yahoo.com	

SURVEYOR INFORMATION

Company Name: Coombs Land Surveying		Contact Person: Ron Coombs	
Address: PO Box 11370	City: Ft. Worth	State: TX	Zip: 76110
Phone: 817.920.7600	Fax: 817.920.7617	Email: ron.coombs@sbcglobal.net	

PROPERTY INFORMATION

Current Legal Description	Block/Abstract: ~~Pt.~~ Block 25	Lot/Tract: Pt. Lots 3:4	Addition/Survey: Indian Oaks Subdivision
Proposed Legal Description	Block(s): Blk 25	Lot(s): 3R + 4R	Addition: Indian Oaks
Current Zoning: SF-1			Proposed Use: Residential
Total number of acres in plat: ~~0.264~~ 0.609			Total numbers of parcels in plat: 2

I understand that I must provide three (3) folded hard copies of the plat (18" x 24"), a copy of the replat document in electronic format (pdf, tif, etc.), the replat application, and the required fee *(verify with P & Z Administrator)*. I hereby certify that the information provided in this application is true and factual to the best of my knowledge. I further understand that the public hearing for this project will not be scheduled until the application fee has been paid and the plans have been reviewed and accepted by City staff to go before the Planning & Zoning Commission and the City Council for final approval.

Property Owner Signature: [signature]	Date: 11-30-17
Printed Name: Norberto Ichaveta	Title:

OFFICE USE ONLY

Fee: 370.00	Date Paid: 11.30.17	Receipt #: P17-1034	
PZ #: PS17-13	Ownership Verified: ☑ YES ☐ NO	Taxes Paid: ☑ YES ☐ NO	Liens Paid: ☑ YES ☐ NO
P & Z Meeting Date: 4.17.18		City Council Meeting Date: 5.8.18	
Plat Approved: ☐ YES ☐ NO	Date Approved: ☐☐/☐☐/☐☐	Date Plat Filed: ☐☐/☐☐/☐☐	Instrument #:

City of Lake Worth

AUTHORIZATION FORM

THE FOLLOWING IS TO BE COMPLETED ONLY IF A PERSON OTHER THAN THE OWNER IS MAKING THIS APPLICATION.

Dated: x January 24, 2018 **Re:** Replat Application

I, Stephen J. Lyons, owner of the Property located at 3300 Mohawk Trail (Block 25 Lot Portion of 4, Indian Oaks Subdivision) do hereby certify that I have given my permission to Norberto Iracheta, to make this (check one):

- ☐ Variance
- ☐ Waiver
- ■ Plat (Development, Replat, Preliminary, Final)
- ☐ Zoning District Change
- ☐ Comprehensive Land Use Plan Amendment
- ☐ Site Plan Application/Amendment

Application for Replat.
(applicant)

Stephen J Lyons	x Steph J
Print Name	Signature of Owner
3300 Mohawk Trail, Lake Worth, Texas 76135	x 817-231-2000 / x 1-24-18
Address	Phone No. / Date

State of Texas §
County of Tarrant §

Before me, ~~Stephen J. Lyons~~ Suzanne Meason, a Notary Public in and for said County and State, on this day personally appeared Stephen J Lyons known to me to be the person whose name is subscribed to the foregoing certificate, and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed.

(Seal)

SUZANNE MEASON
My Notary ID # 12282816
Expires March 22, 2021

Suzanne Meason
Notary

CONSTRUCTION PROHIBITED OVER EASEMENTS

"NO PERMANENT BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED OVER ANY EXISTING OR PLATTED WATER, SANITARY SEWER, DRAINAGE, GAS, ELECTRIC, CABLE OR OTHER UTILITY EASEMENT OF ANY TYPE."

EASEMENT RESTRICTION STATEMENT

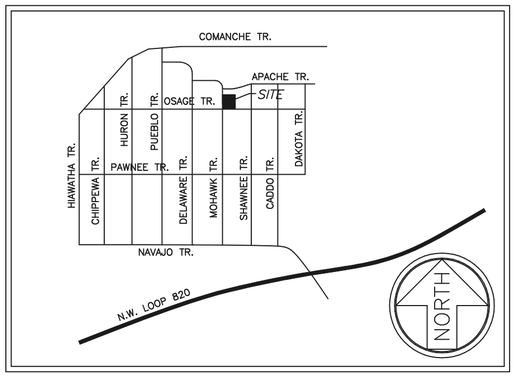
"ANY PUBLIC UTILITY, INCLUDING THE CITY OF LAKE WORTH, SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, FENCES, TREES, SHRUBS, OTHER CROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS SHOWN ON THE PLAT; AND ANY PUBLIC UTILITY, INCLUDING THE CITY OF LAKE WORTH, SHALL HAVE THE RIGHT AT ALL TIMES OF INGRESS AND EGRESS TO AND FROM AND UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.."

FLOOD PLAIN

NO PORTION OF THIS PROPERTY LIES WITHIN A 100-YEAR FLOOD BOUNDARY LINE ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR THE CITY OF FORT WORTH, TARRANT COUNTY, TEXAS, COMMUNITY PANEL No. 48439C0165 K, MAP REVISED SEPTEMBER 25, 2009

RIGHT TO REQUIRE MINIMUM FINISH FLOOR ELEVATIONS

"THE CITY OF LAKE WORTH RESERVES THE RIGHT TO REQUIRE MINIMUM FINISH FLOOR ELEVATIONS ON ANY LOT CONTAINED WITHIN THIS SUBDIVISION. THE MINIMUM ELEVATIONS SHOWN ARE BASED ON THE MOST CURRENT INFORMATION AVAILABLE AT THE TIME THE PLAT IS FILED AND MAY BE SUBJECT TO CHANGE."



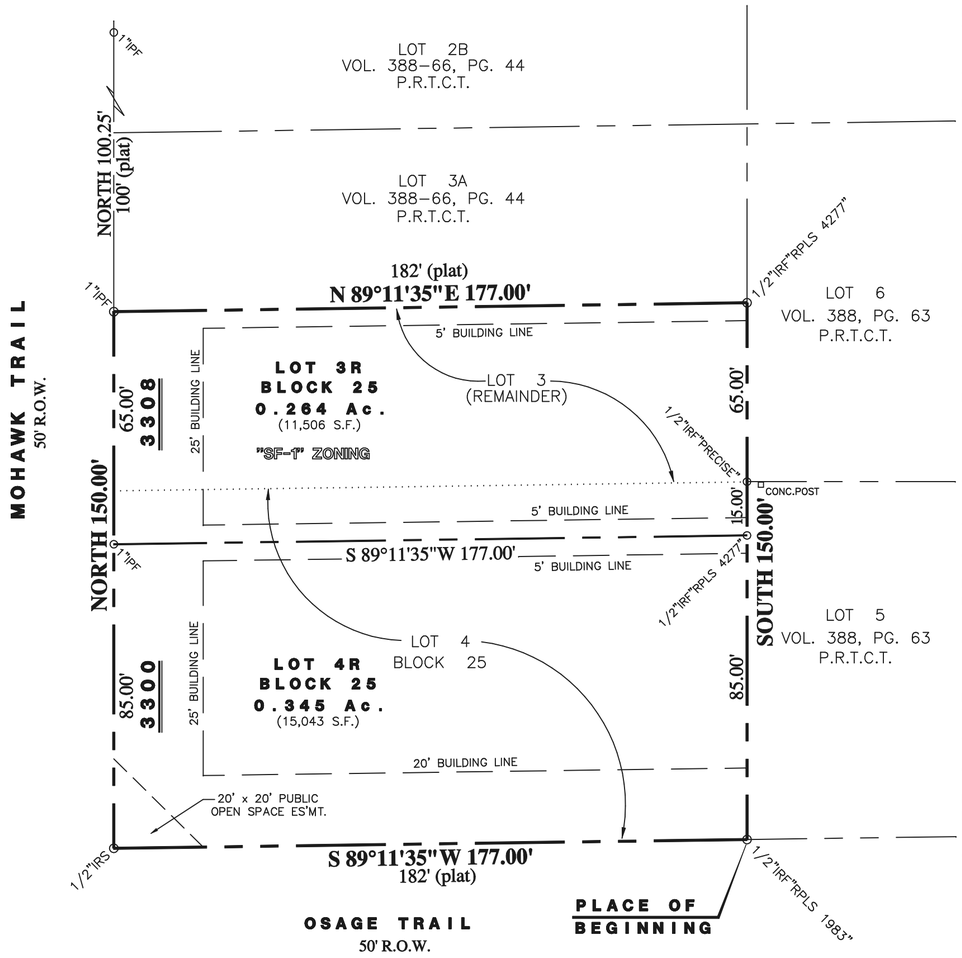
VICINITY MAP
NOT TO SCALE

SURVEYOR'S STATEMENT

I, Ronald W. Coombs, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my supervision.

_____ _____
RONALD W. COOMBS, R.P.L.S. DATE
Texas Registration No. 5294

STATE OF TEXAS REGISTERED RONALD W. COOMBS 5294 PROFESSIONAL LAND SURVEYOR



IRF DENOTES IRON ROD FOUND
IRS DENOTES IRON ROD SET W/ORANGE PLASTIC CAP STAMPED "R. W. COOMBS RPLS 5294"
C.M. DENOTES CONTROLLING MONUMENT
BASIS OF BEARINGS: EAST RIGHT-OF-WAY LINE OF MOHAWK TRAIL AS SHOWN ON PLAT RECORDED IN VOL. 388, PG. 63, P.R.T.C.T.

Coombs Land Surveying, Inc.
P. O. Box 6160 Fort Worth, Texas 76115
(817) 920-7600
T.B.P.L.S. FIRM No. 101110880
CLS JOB No. 14-0121

* N O T E *
ALL SUBJECT PROPERTY BOUNDARY LINE BEARINGS AND DISTANCES ARE DEED & ACTUAL UNLESS OTHERWISE NOTED HEREON.

STATE OF TEXAS

COUNTY OF TARRANT

WHEREAS, NORBERTO IRACHETA and STEPHEN J. LYONS are the sole owners of the following tract of land to-wit:

BEING the South one-half of Lot 3 and all of Lot 4, Block 25, Indian Oaks Subdivision, an addition to the City of Lake Worth, Tarrant County, Texas according to the plat recorded in Volume 388, Page 63 of the Plat Records of Tarrant County, Texas and more particularly described by metes and bounds as follows:

BEGINNING at 1/2-inch iron rod found with plastic cap stamped "RPLS 4277" at the Southeast corner of said Lot 4 being the Southwest corner of Lot 5, said Block 25 and lying in the North right-of-way line of Osage Trail (a 50-foot wide right-of-way);

THENCE S 89° 11' 35" W, 177.00 feet along the South boundary line of said Lot 4 with the said North right-of-way line of Osage Trail to a 1/2-inch iron rod set with orange plastic cap stamped "R. W. COOMBS RPLS 5294" at the Southwest corner of said Lot 4 lying in the East right-of-way line of Mohawk Trail (a 50-foot wide right-of-way);

THENCE NORTH, at 85.00 feet passing a 1-inch iron pipe found and continuing in all a total distance of 150.00 feet along the said East right-of-way line of Mohawk Trail to a 1-inch iron pipe found at the Southwest corner of Lot 3A, Block 25, Indian Oaks Subdivision, an addition to the City of Lake Worth, Tarrant County, Texas according to the plat recorded in Volume 388-66, Page 44 of the Plat Records of Tarrant County, Texas;

THENCE N 89° 11' 35" E, 177.00 feet along the South boundary line of said Lot 3A to a 1/2-inch iron rod found with plastic cap stamped "RPLS 4277" at the Southeast corner thereof, lying in the West boundary line of Lot 6, aforesaid Block 25;

THENCE SOUTH, at 65.00 feet passing a 1/2-inch iron rod found with plastic cap stamped "PRECISE" at the Southwest corner of said Lot 6, being the Northwest corner of aforesaid Lot 5, at 80.00 feet passing a 1/2-inch iron rod found with plastic cap stamped "RPLS 4277" and continuing in all a total distance of 150.00 feet to the PLACE OF BEGINNING, containing 0.609 acre (26,549 square feet) of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT NORBERTO IRACHETA and STEPHEN J. LYONS do hereby adopt this plat designating the hereinabove described real property as LOTS 3R and 4R, BLOCK 25, INDIAN OAKS SUBDIVISION, an addition to the City of Lake Worth, Tarrant County, Texas and do hereby dedicate to the public's use the streets and easements shown thereon.

WITNESS MY HAND at Fort Worth, Tarrant County, Texas this the_____day of_____, 2018.

_____
NORBERTO IRACHETA

WITNESS MY HAND at Fort Worth, Tarrant County, Texas this the_____day of_____, 2018.

_____
STEPHEN J. LYONS

STATE OF TEXAS

COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared NORBERTO IRACHETA, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2018.

_____
NOTARY PUBLIC
STATE OF TEXAS

STATE OF TEXAS

COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared STEPHEN J. LYONS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2018.

_____
NOTARY PUBLIC
STATE OF TEXAS

REPLAT

LOTS 3R & 4R, BLOCK 25
INDIAN OAKS SUBDIVISION

AN ADDITION TO THE CITY OF LAKE WORTH, TARRANT COUNTY, TEXAS
BEING A REVISION OF THE SOUTH ONE-HALF OF LOT 3 AND ALL OF LOT 4, BLOCK 25, INDIAN OAKS SUBDIVISION, AN ADDITION TO THE CITY OF LAKE WORTH, TARRANT COUNTY, TEXAS ACCORDING TO THE PLAT RECORDED IN VOLUME 388, PAGE 63 OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS

APPROVED BY THE CITY COUNCIL OF LAKE WORTH, TEXAS ON THIS THE _____ DAY OF _____, 2018.

_____ ATTEST: _____
MAYOR CITY SECRETARY

SURVEYOR:
COOMBS LAND SURVEYING, INC.
P.O. BOX 11370
FORT WORTH, TEXAS 76110
(817) 920-7600
(831) 920-7617 FAX
e-mail: ron.coombs@sbcglobal.net

OWNER LOT 3R:
NORBERTO IRACHETA
3307 SHAWNEE TRAIL
FORT WORTH, TEXAS 76135
(817) 721-6096
e-mail: bi4hire@yahoo.com

OWNER LOT 4R:
STEPHEN J. LYONS
3300 MOHAWK TRAIL
FORT WORTH, TEXAS 76135
(817) 231-2000

40 0 40 80 120
GRAPHIC SCALE - FEET
SCALE: 1" = 40'

THIS PLAT RECORDED IN INSTRUMENT # _____ DATE _____

2 LOTS 0.609 ACRE

MARCH 27, 2018

CITY OF LAKE WORTH
NOTICE OF PUBLIC HEARING
PLANNING AND ZONING COMMISSION
AND CITY COUNCIL

REPLAT REQUEST
PLANNING & ZONING CASE #PZ-2018-03

You may own property within two hundred feet (200') of the property described in the notice below. The owner of the lot has made application for a land use designation and site plan amendment. Attached you will find a map of the general location of the request. You are invited to attend and participate in the following public hearings regarding this application:

The Planning and Zoning Commission of the City of Lake Worth, Texas, will conduct the first of two public hearings at **6:30 p.m. on Tuesday, April 17, 2018,** at the Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135 to hear public comment and consider recommendations to the City Council regarding the proposed replat being all of 0.609-acre parcel(s) of land known as Block 25, Lot 3 (south half) and Lot 4, Indian Oaks Subdivision of the records of Tarrant County, Texas. The proposed replat's new legal description will be Block 25, Lot(s) 3R and 4R, Indian Oaks Subdivision, commonly known as 3300 Mohawk Trail (lot 4R) and 3308 Mohawk Trail (lot 3R), Lake Worth, Texas. The City Council will conduct a second Public Hearing at **6:30 p.m. on Tuesday, May 8, 2018**, at Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135 to hear public comment and consider. All interested parties are encouraged to attend.

VICINITY MAP ON REVERSE

Stephen J. Lyons
3300 Mohawk Trail
Lake Worth, Texas 76135

David D/Deanna Rolls
3313 Mohawk Trail
Lake Worth, Texas 76135

Norberto Iracheta/Vir Iracheta
3307 Shawnee Trail
Lake Worth, Texas 76135

Indian Oaks Primitive Baptist Church
3229 Shawnee Trail
Lake Worth, Texas 76135

Sallye Kate Lyons
3233 Mohawk Trail
Lake Worth, Texas 76135

Billy J Humphreys
7211 Osage Trail
Lake Worth, Texas 76135

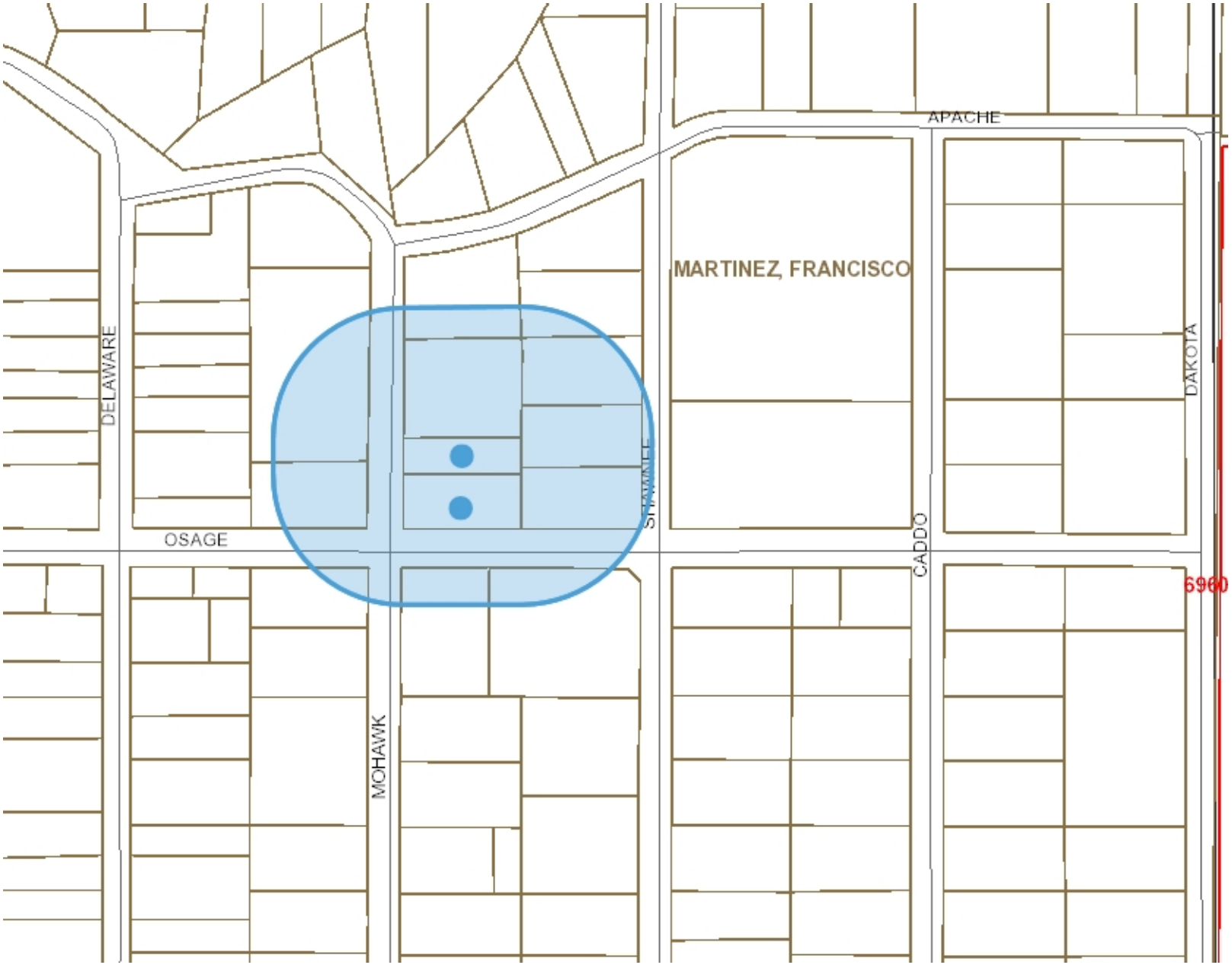
Rodolfo Castaneda/Claudia Luna
4736 Trail Lake Drive
Fort Worth, Texas 76133

Nola Stewart Estate
3324 Mohawk Trail
Lake Worth, Texas 76135

Ruben Marquez
3312 Mohawk Trail
Lake Worth, Texas 76135

Donald R Bownds
3313 Shawnee Trail
Lake Worth, Texas 76135

Ramon Aldaba
PO Box 4701
Fort Worth, Texas 76164



Legend

- Parcels
- Lots
- Arterials
- Freeways
- Streets
- Tarrant County Streets
- Parks
- Lakes
- City Limit
- Extraterritorial Jurisdiction (ETJ)

FORT WORTH®

4/6/18 9:00 AM

1: 2,693

0.1 0 0.04 0.1 Miles

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. The City of Fort Worth assumes no responsibility for the accuracy of said data.

NCTCOG ORTHOPHOTOGRAPHY

Lake Worth Planning & Zoning Commission Meeting – April 17, 2018

Agenda Item No. C.2

From: Suzanne Meason, Planning & Zoning Administrator

Item: Public Hearing to consider Planning & Zoning Case No. PZ-2018-04, a proposed preliminary plat being all of a 0.5030-acre tract of land legally known as Abstract 1552, Tract 2HH, Moses Townsend Survey of the records of Tarrant County, Texas. The proposed preliminary plat's new legal description will be Block 1, Lot(s) 3 and 4, Moses Townsend Addition, commonly known as 7229 Charbonneau and 3612 Mohawk Trail, Lake Worth, Texas.

Property Description:
0.5030-acre tract of land, located at 7229 Charbonneau

Property Owner(s):
Bassim Abifaraj, 1501 Dream Dust Court, Keller, Texas 76248

Applicant:
Bassim Abifaraj, 1501 Dream Dust Court, Keller, Texas 76248

Engineer/Surveyor:
Jason Rawlings, Miller Surveying, Inc., 430 Mid Cities Blvd., Hurst, Texas 76054

Current Zoning:
"SF1" – Single Family Residential

Proposed Use(s):
"SF1" – Single Family Residential

Existing Road(s):
Charbonneau and Mohawk Trail

Surrounding Zoning:
North: The property to the north is currently zoned SF-1 Single Family Residential.

South: The property to the south is currently zoned SF-1 Single Family Residential.

East: The property to the east is currently zoned SF-1 Single Family Residential.

West: The property to the west is currently zoned SF-1 Single Family Residential.

Summary:
Mr. Abifaraj is the owner of the property and desires to construct two (2) new residences. The property had a structure on it prior, which was demolished and removed. When Mr. Abifaraj

contacted the City at first about building a new residence it was discovered that the property had never been platted. He was advised that he would have to plat the property prior to any new construction. In his preparation of the plat he decided that he wanted to make two (2) lots out of the property. The proposed lot(s) meet the city's requirements for platting. The preliminary plat document was prepared and has been reviewed by city staff and is ready to be heard by the Planning and Zoning Commission for recommendation to the City Council.

The case was uploaded into the RCC review tool and those comments (if any) will be presented to the Commission on Tuesday at the meeting.

Public Input:
On Friday, April 6, 2018 as required by State law, the City mailed out twenty-one (21) letters of Notification for a Public Hearing to all property owners within two hundred (200') feet of the subject site. Notice was also published in the City's paper of record, the Fort Worth Star Telegram on Friday, March 30, 2018. We have received the following in favor/opposition to the request:

1. FOR – no comment forms received.
2. AGAINST – 1 form received. Property owner who submitted form did not contact staff for details but thinks that it will be four (4) lots, not just two (2).

Fiscal Impact:
N/A

Attachments:
1. Subdivision Application/Waiver of 30 Day Action Form
2. Preliminary Plat Document/Utility Plan/Drainage Study
3. Public Hearing Notice
4. Public Hearing Notifications (within 200' of subject property)
5. Vicinity Map
6. Returned Public Comment Form(s)

Recommended Motion or Action:
Staff's recommends approval of Agenda Item C.2 as presented.

BUILDING DEVELOPMENT SERVICES
PLANNING & ZONING DIVISION
3805 ADAM GRUBB, LAKE WORTH, TEXAS 76135
817-255-7922 OR SMEASON@LAKEWORTHTX.ORG

FOR OFFICE USE ONLY
Case No: PZ-2018-04+PZ-2018-05
Date Submitted: 02.09.18

APPLICATION FOR SUBDIVISION PLAT APPROVAL

(CHECK ONE)

X **PRELIMINARY PLAT** X **FINAL PLAT** ____ **REPLAT** ____ **AMENDING/CORRECTION PLAT**

PROPOSED SUBDIVISION NAME Lot 3 & 4, Moses Townshend Addition

CURRENT ZONING CLASSIFICATION Single Family Residential

CURRENT LEGAL DESCRIPTION Tract 2HH - Moses Townshend Survey A-1552

TOTAL ACRES 0.5030 **# OF LOTS** 2 **PROPOSED USE** SFR

APPLICANT/DEVELOPER INFORMATION

NAME Bassim Abifaraj
ADDRESS 1501 Dream Dust Ct. CITY Keller
STATE Texas ZIP 76248 EMAIL bnrproperties@gmail.com
PHONE 954-325-4418 FAX

PROPERTY OWNER INFORMATION

NAME Applicant
ADDRESS CITY
STATE ZIP EMAIL
PHONE FAX

SURVEYOR/ARCHITECT/ENGINEER INFORMATION

NAME Jason Rawlings (Miller Surveying, Inc.)
ADDRESS 430 Mid Cities Blvd CITY Hurst
STATE TX ZIP 76054 EMAIL jason@millersurvey.net
PHONE 817-577-1052 FAX

I hereby certify that I am the owner of the property described above and further certify that the information provided on this development application is true and correct. I further understand that the public hearing for this project will not be scheduled until the application fee(s) have been paid and the plans have been reviewed and accepted by City staff. *IF APPLICATION IS SIGNED BY SOMEONE OTHER THAN THE OWNER, THEN AN OWNER AUTHORIZATION FORM MUST BE COMPLETED AND TURNED IN WITH APPLICATION.*

SIGNATURE OF OWNER, AGENT, OR APPLICANT **DATE** 2/9/18

GENERAL INFORMATION

A plat is intended to serve as the official recorded map of the property to be developed, showing thereon the boundaries, lots, public streets and easements and other significant public facilities and features which are necessary to serve the development. All plats shall conform to the Lake Worth Subdivision and Development Ordinance and Design Criteria and Construction Standards.

Owner signature: The plat application is required to be signed by the **current property owner**. If the property owner is not available to sign the application, then an owner authorization form (City provided) from the property owner is required to be submitted which empowers a designee to sign for the property owner.

Waiver from Section 212.009: The Texas Local Government Code requires that the municipal authority responsible for approving plats must take action on a plat within thirty (30) days of the plat application being accepted. A plat is considered approved by the municipal authority unless it is disapproved within that period. Because thirty (30) days is generally not enough time for a plat to be processed by City Staff and forwarded to the Planning and Zoning Commission and City Council for approval, a waiver of action form must be signed. **If the waiver of action form is not signed and submitted, then it is likely that the plat will be forwarded to the Planning and Zoning Commission with a staff recommendation of denial within thirty (30) days of the application being accepted. The waiver must be signed by the property owner or by the property owner's designee as noted on the owner authorization form.**

Acceptance of plat application: All plat applications will be reviewed for completeness in accordance with this checklist before they are accepted by City Staff. Failure of applicant to provide the required information constitutes grounds for refusal of plat acceptance for processing; or staff recommendation of denial when application is scheduled for consideration.

SUBMITTAL CHECKLIST

The following items must be turned in for the subdivision plat application to be accepted and processed by this department:

- X SUBDIVISION PLAT APPLICATION
- ___ OWNER AUTHORIZATION FORM (IF APPLICABLE)
- X SIGNED WAIVER OF 30 DAY ACTION FORM
- X APPLICATION FEE (VERIFY WITH P&Z ADMINISTRATOR)
- X FOUR (4) HARD COPIES OF SUBDIVISION PLAT DOCUMENT (SIZE 24 x 36 FOLDED INTO 8½ x 11)
- X ELECTRONIC VERSION (.pdf) OF THE SUBDIVISION PLAT DOCUMENT EMAILED TO SMEASON@LAKEWORTHTX.ORG
- X FOUR (4) HARD COPIES OF CIVIL CONSTRUCTION PLANS (IF APPLICABLE) from eng.

OFFICE USE ONLY

Fee: 5,570.00
Date Paid: 02-13-18
Receipt #: P18-0124 + P18-0125
Ownership Verified:
☑ YES ☐ NO
Taxes Paid:
☑ YES ☐ NO
Liens Paid:
☑ YES ☐ NO

Public Hearing Newspaper Notice Deadline Date: 3.30.18
Public Hearing 200' Notification Deadline Date: 4.7.18
P&Z Commission Meeting Date: 4.17.18
City Council Meeting Date: 5.3.18

Plat Approval Date:
Plat File Date:
Instrument #:

BUILDING DEVELOPMENT SERVICES
PLANNING & ZONING DIVISION
3805 ADAM GRUBB, LAKE WORTH, TEXAS 76135
817-255-7922 OR SMEASON@LAKEWORTHTX.ORG

FOR OFFICE USE ONLY
Case No: _____
Date Submitted: _____
Accepted By: _____

WAIVER OF 30 DAY ACTION REQUIREMENT FOR PLATTING

(CHECK ONE)

X **PRELIMINARY PLAT** X **FINAL PLAT** ____ **REPLAT** ____ **AMENDING/CORRECTION PLAT**

PROPOSED SUBDIVISION NAME Lot 3 & 4, Moses Townshend Addition

CURRENT LEGAL DESCRIPTION Tract 2HH - Moses Townshend Survey A-1552

TOTAL ACRES 0.5030 **# OF LOTS** 2 **PROPOSED USE** SFR

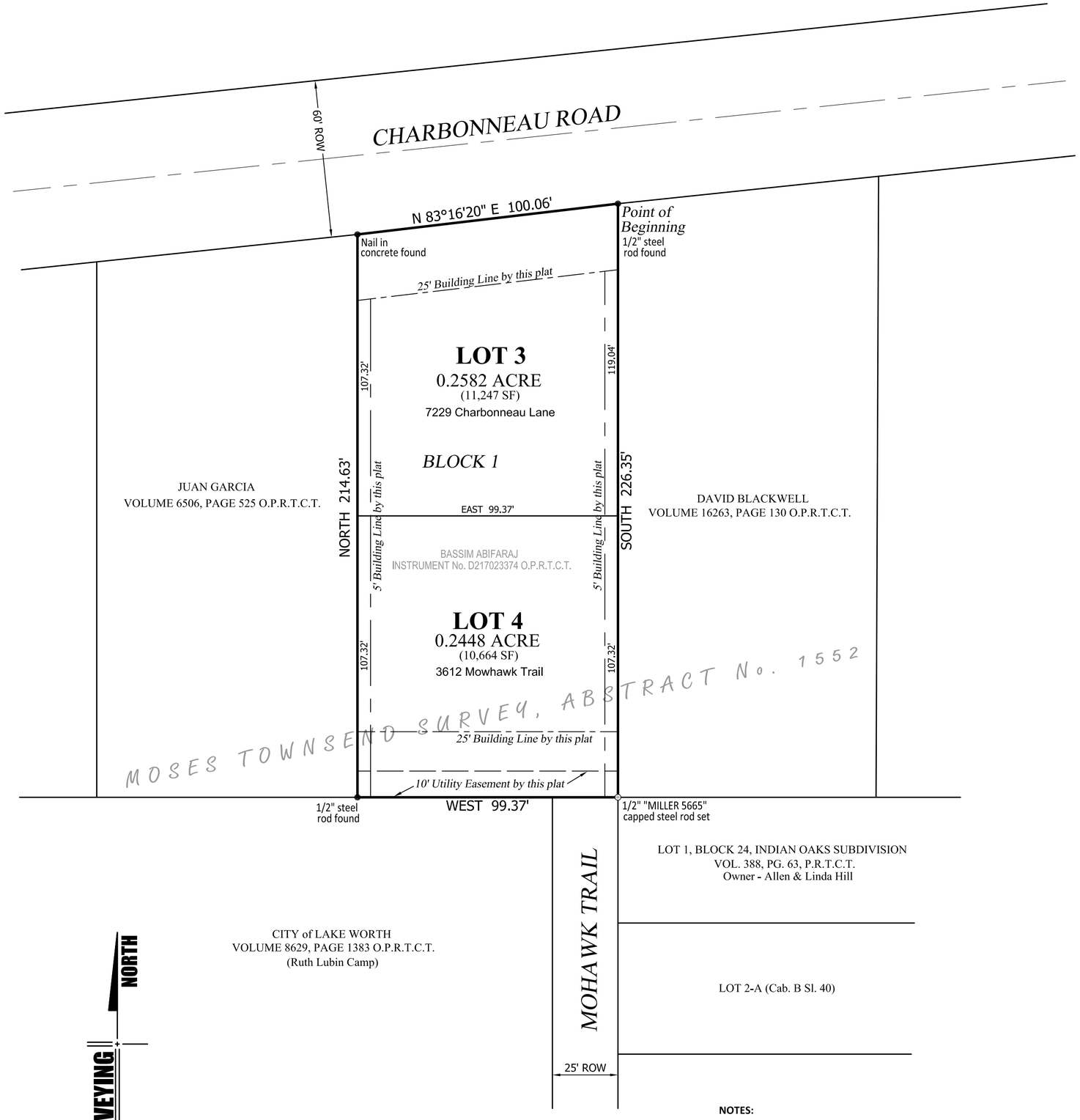
PROPERTY OWNER INFORMATION

NAME Bassim Abifaraj
ADDRESS 1501 Dream Dust Ct. CITY Keller
STATE Texas ZIP 76248 EMAIL bnrproperties@gmail.com
PHONE 954-325-4418 FAX

I hereby affirm that I am the owner or an authorized representative of the owner of the property described above which is being submitted for the platting process and I hereby waive my right to have action taken on my plat within the thirty (30) day period as required by section 212.009 of Texas Local Government Code.

IF APPLICATION IS SIGNED BY SOMEONE OTHER THAN THE OWNER, THEN AN OWNER AUTHORIZATION FORM MUST BE COMPLETED AND TURNED IN WITH APPLICATION.

SIGNATURE OF OWNER, AGENT, OR APPLICANT **DATE** 2/9/18



STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS Bassim Abifaraj is the sole owner of the following described tract of land to wit:

Being a tract of land out of the Moses Townsend Survey, Abstract No. 1552 and situated in the City of Lake Worth, Tarrant County, Texas, and surveyed by Miller Surveying, Inc. of Hurst, Texas in May 2017, said tract being that same tract of land described in the deed to Bassim Abifaraj recorded as Instrument No. D217023374, Official Public Records of Tarrant County, Texas and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch steel rod set for the northeast corner of said Abifaraj tract, said rod being in the southeasterly right-of-way line of Charbonneau Road;

Thence SOUTH with the east boundary line of said tract a distance of 226.35 feet to a 1/2" "MILLER 5665" capped steel rod set for the southeast corner of said tract;

Thence WEST with the south boundary line of said tract a distance of 99.37to a 1/2" steel rod found for the southwest corner of said tract;

Thence NORTH with the west boundary line of said tract a distance of 214.63 feet to a nail in concrete found for the northwest corner of said tract, said nail being in the said right-of-way line;

Thence North 83 degrees 16 minutes 20 seconds East with said right-of-way line a distance of 100.06 feet to the point of beginning and containing 0.5030 acres of land more or less.;

KNOW ALL BY THESE PRESENTS THAT I HEREBY ADOPT THE SAME TO BE KNOWN AS:

LOT 3 AND LOT 4, BLOCK 1, MOSES TOWNSEND ADDITION
An addition to the City of Lake Worth, Tarrant County, Texas and do hereby dedicate to the public use forever the easements and rights-of-way as shown hereon.

Executed this the _____ day of _____, 2018.

By: _____
Bassim Abifaraj

STATE OF TEXAS

COUNTY OF TARRANT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Bassim Abifaraj, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated and as the act and deed of said corporation.

Given under my hand and seal of office this _____ day of _____, 2018.

_____
Notary Public in and for the State of Texas

My commission expires: _____

OWNER/APPLICANT:

BASSIM ABIFARAJ
1501 DREAM DUST CT.
KELLER, TX. 76248
954-325-4418

This is to certify that I, Jason B. Rawlings, a Registered Professional Land Surveyor for the State of Texas, have platted the subdivision from an actual survey on the ground, and that this plat correctly represents that survey work by me and those under my supervision.

_____
Jason B. Rawlings Date
R. P. L. S. 5665

STATE OF TEXAS REGISTERED JASON B. RAWLINGS 5665 PROFESSIONAL LAND SURVEYOR

MILLER Surveying, Inc.
Commercial • Residential • Municipal
430 Mid Cities Blvd. 817-577-1052
Hurst, Texas 76054 TxLSF No. 10100400
MillerSurvey.net

NOTES:

Both lots are Single Family Residential.

Based on scaling the surveyed tract shown hereon onto the FEMA Flood Insurance Rate Map No. 48439C0165K (Rev. 9-25-09), said lot lies within FEMA Zone X and does not lie within the FEMA designated 100-year flood plain. Miller Surveying, Inc. makes no statement as to the likelihood of the actual flooding of said surveyed lot.

Preliminary Plat

LOT 3 AND LOT 4, BLOCK 1
MOSES TOWNSEND ADDITION

An addition to the City of Lake Worth, Tarrant County, Texas
Being 0.5030 acres out of the
Moses Townsend Survey, Abstract No. 1552
City of Lake Worth, Tarrant County, Texas

Surveyed in May 2017

This plat is filed as Document No. _____ in the Plat Records of Tarrant County, Texas, Date _____

Job No. 13137 • Plot File 13137

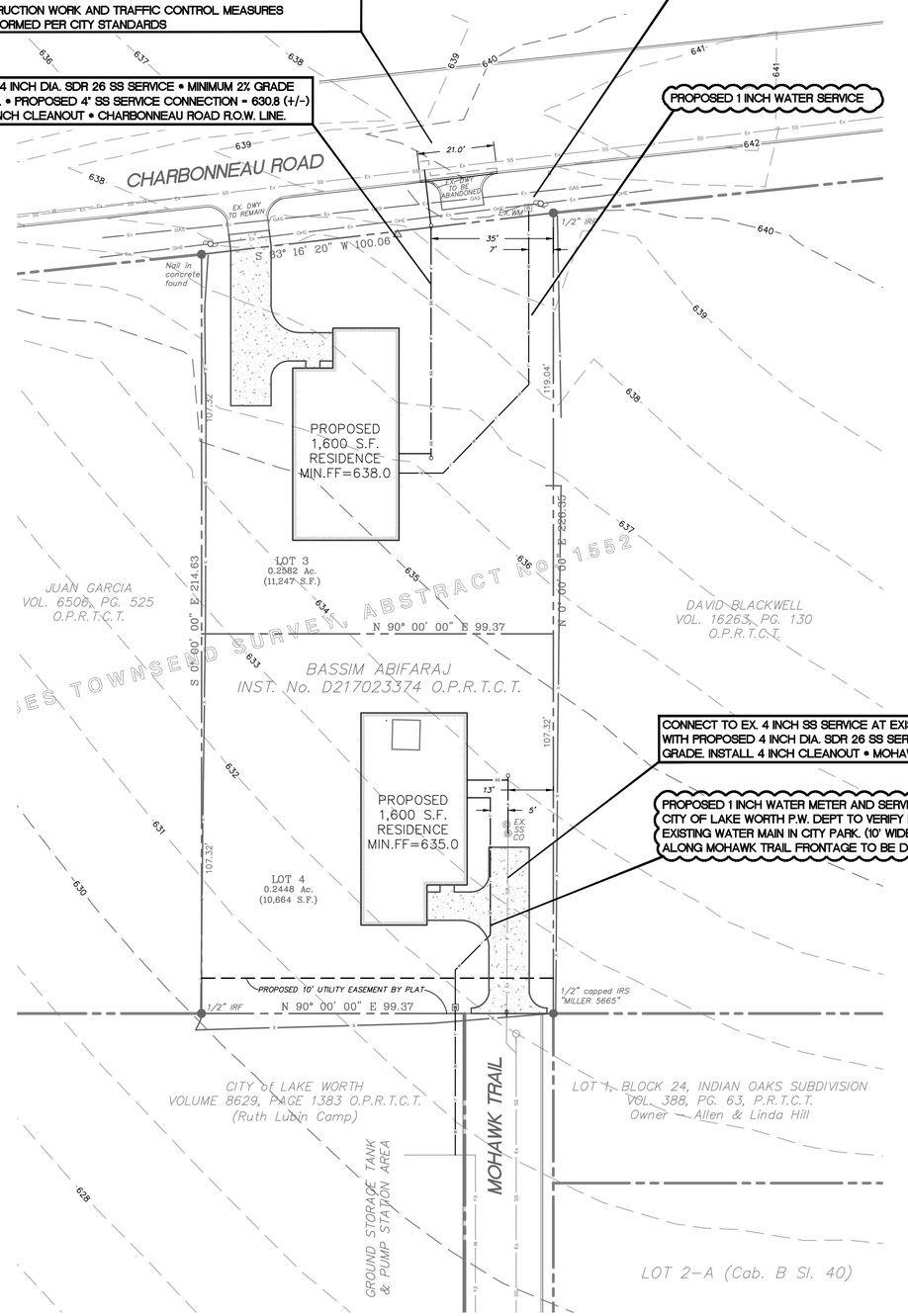
CONSTRUCT:
1 LS. - FULL DEPTH SAW-CUT ON EXISTING ASPHALT STREET
1 LS. - CONCRETE DRIVEWAY REMOVAL AND RIGHT-OF-WAY RESTORATION
21 L.F. - CONCRETE CURB AND GUTTER
35 S.F. - ASPHALT PAVEMENT REPAAIR

ALL CONSTRUCTION WORK AND TRAFFIC CONTROL MEASURES TO BE PERFORMED PER CITY STANDARDS

PROPOSED 4 INCH DIA. SDR 26 SS SERVICE • MINIMUM 2% GRADE
EX. 6" SS FL • PROPOSED 4" SS SERVICE CONNECTION = 630.8 (+/-)
INSTALL 4 INCH CLEANOUT • CHARBONNEAU ROAD R.O.W. LINE.

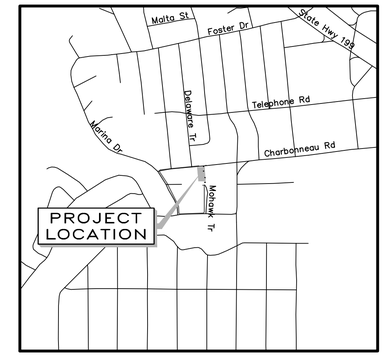
EX. 1 INCH WATER METER TO REMAIN

PROPOSED 1 INCH WATER SERVICE



CONNECT TO EX. 4 INCH SS SERVICE AT EXISTING CLEANOUTS WITH PROPOSED 4 INCH DIA. SDR 26 SS SERVICE • MINIMUM 2% GRADE. INSTALL 4 INCH CLEANOUT • MOHAWK TRAIL R.O.W. LINE.

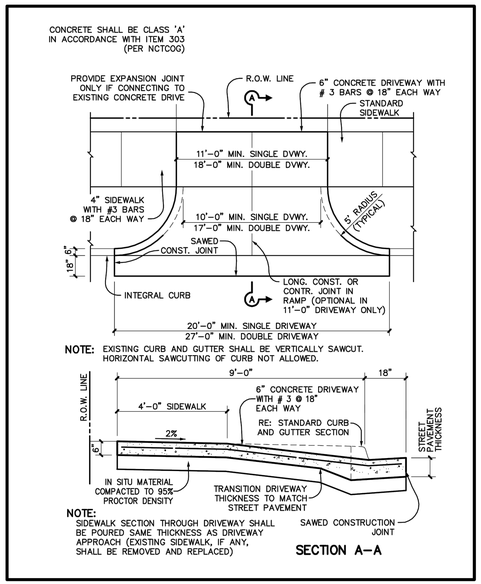
PROPOSED 1 INCH WATER METER AND SERVICE.
CITY OF LAKE WORTH P.W. DEPT TO VERIFY EXACT LOCATION OF EXISTING WATER MAIN IN CITY PARK. (10' WIDE UTILITY EASEMENT ALONG MOHAWK TRAIL FRONTAGE TO BE DEDICATED BY PLAT).



VICINITY MAP
SCALE: 1" = 1000'

LEGEND

- PROPERTY CORNER – IRON ROD FOUND
- PROPERTY CORNER – IRON ROD SET
- STREET LIGHT
- TRAFFIC SIGNAL POLE
- UTILITY POLE
- GUY WIRE
- TELEPHONE MANHOLE
- GAS METER
- SIGN
- SANITARY SEWER CLEANOUT
- EXISTING / PROPOSED SANITARY SEWER MANHOLE
- GRATE INLET
- STORM SEWER MANHOLE
- EXISTING / PROPOSED FIRE HYDRANT
- WATER METER
- EXISTING / PROPOSED WATER VALVE
- CHAIN LINK FENCE
- WIRE FENCE
- WOOD FENCE
- OVERHEAD ELECTRIC LINE–EXISTING
- OVERHEAD ELECTRIC LINE–PROPOSED
- UNDERGROUND ELECTRIC LINE–EXISTING
- UNDERGROUND ELECTRIC LINE–PROPOSED
- WATER LINE–EXISTING
- WATER LINE–PROPOSED
- SANITARY SEWER LINE–EXISTING
- SANITARY SEWER LINE–PROPOSED
- NATURAL GAS LINE–EXISTING
- NATURAL GAS LINE–PROPOSED
- TELEPHONE LINE–EXISTING
- TELEPHONE LINE–PROPOSED
- SILT FENCE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CEMENT TREATED FLEX BASE PAVEMENT
- PROPOSED GRAVEL AREA
- PROPOSED CONCRETE SIDEWALK



City of LAKE WORTH TEXAS	PAVING CONSTRUCTION DETAILS RESIDENTIAL DRIVEWAY	REVISED MAY 2006 SCALE: N.T.S. SHEET: P–5A

GRAPHIC SCALE
0 10 20 40
Half Size: 1 inch = 40 ft.
Full Size: 1 inch = 20 ft.

HUFFMAN CONSULTING ENGINEERS
TEXAS REGISTERED ENGINEERING FIRM F-12488
6716 AZLE AVENUE
FORT WORTH, TEXAS 76135
Phone: (817) 357-5354
Fax: (817) 357-5340
Email: JHUFFMAN@HCE-E.NET

PROJECT ID: ####

NUMBER	REVISION	DATE
6	####	####
5	####	####
4	####	####
3	####	####
2	####	####
1	REVISIONS PER 180222 CITY REVIEW COMMENTS	180307

□E□S□N□S

PROPOSED IMPROVEMENTS OF

ABIFARAJ RESIDENCE

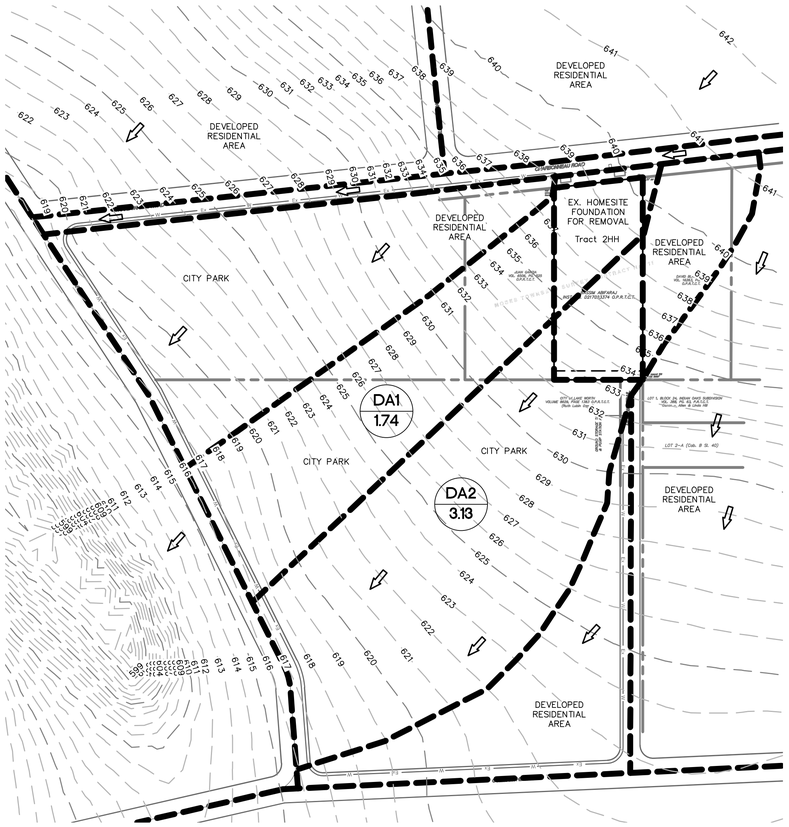
FOR

LOTS 3 AND 4, MOSES' TOWNSEND ADDITION
LAKE WORTH, TEXAS

HUFFMAN CONSULTING ENGINEERS
STATE OF TEXAS
JACE D. HUFFMAN
70155
PROFESSIONAL ENGINEER
03/07/18
F-12488

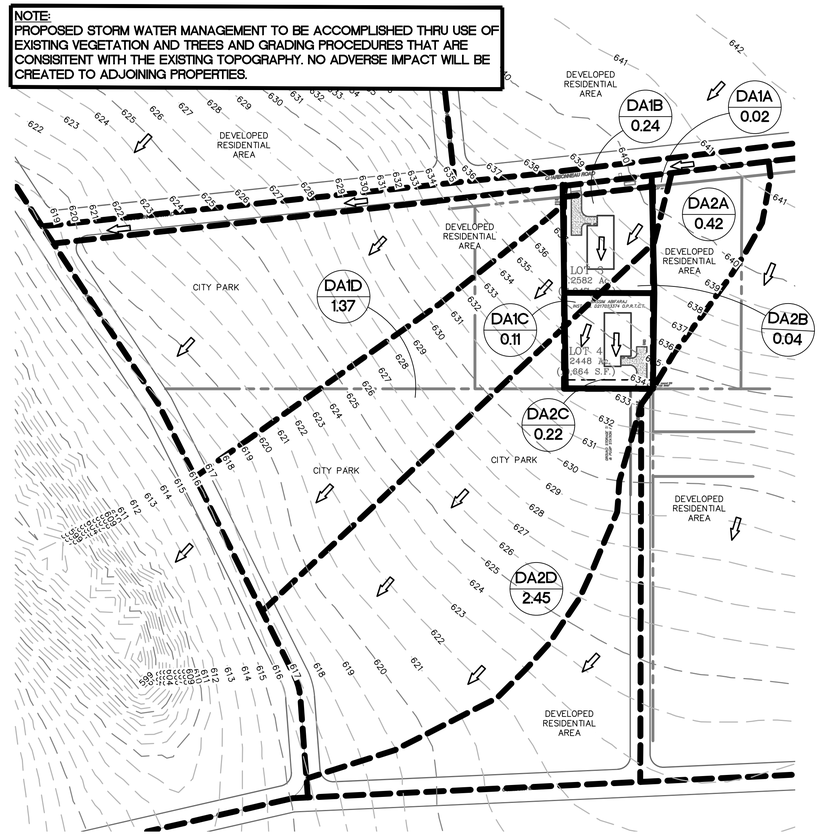
SITE PLAN

DATE	03/07/18		
DESIGN BY	JYH	DRAWN BY	AMR
REVIEW BY	HCE		
SHEET NO.	C1		

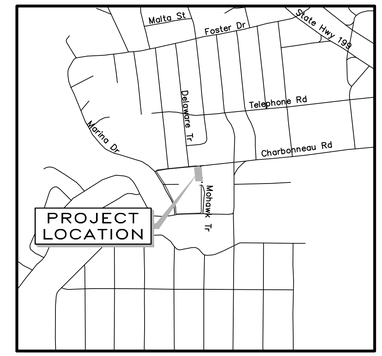


PRE-DEVELOPED CONDITION - DRAINAGE AREA MAP

NOTE:
PROPOSED STORM WATER MANAGEMENT TO BE ACCOMPLISHED THRU USE OF EXISTING VEGETATION AND TREES AND GRADING PROCEDURES THAT ARE CONSISITENT WITH THE EXISTING TOPOGRAPHY. NO ADVERSE IMPACT WILL BE CREATED TO ADJOINING PROPERTIES.



POST-DEVELOPED CONDITION - DRAINAGE AREA MAP



VICINITY MAP
SCALE: 1" = 1000'

LEGEND

- PROPERTY CORNER – IRON ROD FOUND
- PROPERTY CORNER – IRON ROD SET
- STREET LIGHT
- TRAFFIC SIGNAL POLE
- UTILITY POLE
- GUY WIRE
- TELEPHONE MANHOLE
- GAS METER
- SIGN
- SANITARY SEWER CLEANOUT
- EXISTING / PROPOSED SANITARY SEWER MANHOLE
- GRATE INLET
- STORM SEWER MANHOLE
- EXISTING / PROPOSED FIRE HYDRANT
- WATER METER
- EXISTING / PROPOSED WATER VALVE
- CHAIN LINK FENCE
- WIRE FENCE
- WOOD FENCE
- OVERHEAD ELECTRIC LINE–EXISTING
- OVERHEAD ELECTRIC LINE–PROPOSED
- UNDERGROUND ELECTRIC LINE–EXISTING
- UNDERGROUND ELECTRIC LINE–PROPOSED
- WATER LINE–EXISTING
- WATER LINE–PROPOSED
- SANITARY SEWER LINE–EXISTING
- SANITARY SEWER LINE–PROPOSED
- NATURAL GAS LINE–EXISTING
- NATURAL GAS LINE–PROPOSED
- TELEPHONE LINE–EXISTING
- TELEPHONE LINE–PROPOSED
- SILT FENCE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CEMENT TREATED FLEX BASE PAVEMENT
- PROPOSED GRAVEL AREA
- PROPOSED CONCRETE SIDEWALK

DRAINAGE CALCULATIONS
(PRE-DEVELOPMENT)

DRAINAGE AREA	AREA (acres)	C	Tc (min.)	I-1yr (in./hr)	I-10yr (in./hr)	I-100yr (in./hr)	Q-1yr (cfs)	Q-10yr (cfs)	Q-100yr (cfs)	COMMENTS
DA1	1.74	0.42	15	3.32	5.53	7.98	2.42	4.04	5.83	LARGE LOT RES. DEVELOPMENT + PARK AREA
DA2	3.13	0.36	15	3.32	5.53	7.98	3.74	6.23	8.99	LARGE LOT RES. DEVELOPMENT + PARK AREA
TOTAL =	4.87					TOTAL =	6.16	10.27	14.82	

Note:
1. PRE-DEVELOPMENT WEIGHTED "C" COEFFICIENT VALUE FOR DRAINAGE AREA DA1 DETERMINED FROM LAND USE TABLE - RESIDENTIAL CATEGORY (0.55) AND UNDEVELOPED PROPERTY CATEGORY (0.30).
WEIGHTED "C" = ((0.30 x 0.90) + (0.55 x 0.84)) / 1.74 = 0.42

2. PRE-DEVELOPMENT WEIGHTED "C" COEFFICIENT VALUE FOR DRAINAGE AREA DA2 DETERMINED FROM LAND USE TABLE - RESIDENTIAL CATEGORY (0.55) AND UNDEVELOPED PROPERTY CATEGORY (0.30).
WEIGHTED "C" = ((0.30 x 2.38) + (0.55 x 0.75)) / 3.13 = 0.36

DRAINAGE CALCULATIONS
(POST-DEVELOPMENT)

DRAINAGE AREA	AREA (acres)	C	Tc (min.)	I-1yr (in./hr)	I-10yr (in./hr)	I-100yr (in./hr)	Q-1yr (cfs)	Q-10yr (cfs)	Q-100yr (cfs)	COMMENTS
DA1A	0.02	0.55	10	4.06	6.51	9.24	0.05	0.07	0.10	LARGE LOT RES. DEVELOPMENT
DA1B	0.24	0.55	10	4.06	6.51	9.24	0.54	0.86	1.22	PROPOSED LOT 3 HOME SITE REDEVELOPMENT
DA1C	0.11	0.55	10	4.06	6.51	9.24	0.25	0.39	0.56	PROPOSED LOT 4 HOME SITE REDEVELOPMENT
DA1D	1.37	0.41	15	3.32	5.53	7.98	1.86	3.11	4.48	LARGE LOT RES. DEVELOPMENT + PARK AREA
DA2A	0.42	0.55	10	4.06	6.51	9.24	0.94	1.50	2.13	LARGE LOT RES. DEVELOPMENT
DA2B	0.04	0.55	10	4.06	6.51	9.24	0.09	0.14	0.20	PROPOSED LOT 3 HOME SITE REDEVELOPMENT
DA2C	0.22	0.55	10	4.06	6.51	9.24	0.49	0.79	1.12	PROPOSED LOT 4 HOME SITE REDEVELOPMENT
DA2D	2.45	0.31	15	3.32	5.53	7.98	2.52	4.20	6.06	LARGE LOT RES. DEVELOPMENT + PARK AREA
TOTAL =	4.87					TOTAL =	6.74	11.06	15.87	

Note:
1. PRE-DEVELOPMENT WEIGHTED "C" COEFFICIENT VALUE FOR DRAINAGE AREA DA1D DETERMINED FROM LAND USE TABLE - RESIDENTIAL CATEGORY (0.55) AND UNDEVELOPED PROPERTY CATEGORY (0.30).
WEIGHTED "C" = ((0.30 x 0.90) + (0.55 x 0.47)) / 1.37 = 0.39

2. PRE-DEVELOPMENT WEIGHTED "C" COEFFICIENT VALUE FOR DRAINAGE AREA DA2D DETERMINED FROM LAND USE TABLE - RESIDENTIAL CATEGORY (0.55) AND UNDEVELOPED PROPERTY CATEGORY (0.30).
WEIGHTED "C" = ((0.30 x 2.38) + (0.55 x 0.07)) / 2.45 = 0.31

DRAINAGE LEGEND

DA1 / 0.78 — DRAINAGE AREA NUMBER; DRAINAGE AREA SIZE (AC.)

- EXISTING DRAINAGE AREA BOUNDARY
- PROPOSED DRAINAGE AREA BOUNDARY
- FLOW DIRECTION

NORTH

GRAPHIC SCALE
0 40 80 160
Full Size: 1 inch = 80 ft.

HUFFMAN CONSULTING ENGINEERS
TEXAS REGISTERED ENGINEERING FIRM F-12488
6716 AZLE AVENUE
FORT WORTH, TEXAS 76135
Phone: (817) 357-5354
Fax: (817) 357-5342
Email: JHUFFMAN@HCE-E.NET

PROJECT ID: ####

NUMBER	REVISION	DATE
6	####	####
5	####	####
4	####	####
3	####	####
2	####	####
1	####	####

REVISIONS

PROPOSED IMPROVEMENTS OF

ABIFARAJ RESIDENCE

FOR

LOTS 3 AND 4, MOSES' TOWNSEND ADDITION
LAKE WORTH, TEXAS

HUFFMAN CONSULTING ENGINEERS
STATE OF TEXAS
JACE D. HUFFMAN
70155
PROFESSIONAL ENGINEER
F-12488
03/07/18

DRAINAGE STUDY

DATE	03/07/18
DESIGN BY	JYH
DRAWN BY	AMR
REVIEW BY	HCE
SHEET NO.	C2

CITY OF LAKE WORTH
NOTICE OF PUBLIC HEARING
PLANNING AND ZONING COMMISSION
AND CITY COUNCIL

PRELIMINARY PLAT REQUEST
PLANNING & ZONING CASE #PZ-2018-04

You may own property within two hundred feet (200') of the property described in the notice below. The owner of the lot has made application for a land use designation and site plan amendment. Attached you will find a map of the general location of the request. You are invited to attend and participate in the following public hearings regarding this application:

The Planning and Zoning Commission of the City of Lake Worth, Texas, will conduct the first of two public hearings at **6:30 p.m. on Tuesday, April 17, 2018**, at the Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135 to hear public comment and consider recommendations to the City Council regarding the proposed preliminary plat being all of a 0.5030 acre tract of land legally known as Abstract 1552, Tract 2HH, Moses Townsend Survey of the records of Tarrant County, Texas. The proposed preliminary plat's new legal description will be Block 1, Lot(s) 3 and 4, Moses Townsend Addition, commonly known as 7229 Charbonneau and 3612 Mohawk Trail, Lake Worth, Texas. The City Council will conduct a second Public Hearing at **6:30 p.m. on Tuesday, May 8, 2018**, at Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135 to hear public comment and consider. All interested parties are encouraged to attend.

VICINITY MAP ON REVERSE

Kelly W White
7224 Charbonneau
Lake Worth, Texas 76135

Jordan Dietzel
7217 Charbonneau
Lake Worth, Texas 76135

Donald J Lovell
3613 Shawnee Trail
Lake Worth, Texas 76135

Burton G Howard
7220 Charbonneau
Lake Worth, Texas 76135

Carol Ware
3913 Lakewood Drive
Lake Worth, Texas 76135

William L Cowden Real Est LLC
5760 Popken Drive
Fort Worth, Texas 76114

Joe D Rhodes
3804 Lakewood Drive
Lake Worth, Texas 76135

David/Linda K Blackwell
7225 Charbonneau
Lake Worth, Texas 76135

Krystal Cervantes
2704 Refugio Avenue
Fort Worth, Texas 76164

Bassim Abifaraj
1501 Dream Dust Court
Keller, Texas 76248

Allen/Linda Hill
3608 Mohawk Trail
Lake Worth, Texas 76135

Juan Jamie/Dora Garcia
7301 Charbonneau
Lake Worth, Texas 76135

Rainwater Enterprises Inc.
8941 Waterchase Circle
Fort Worth, Texas 76120

Virgilio D Portales
7309 Charbonneau
Lake Worth, Texas 76135

Sean/Esmeralda Campbell
709 Schilder
Fort Worth, Texas 76114

Frances Hicks Walker
3704 Delaware Trail
Lake Worth, Texas 76135

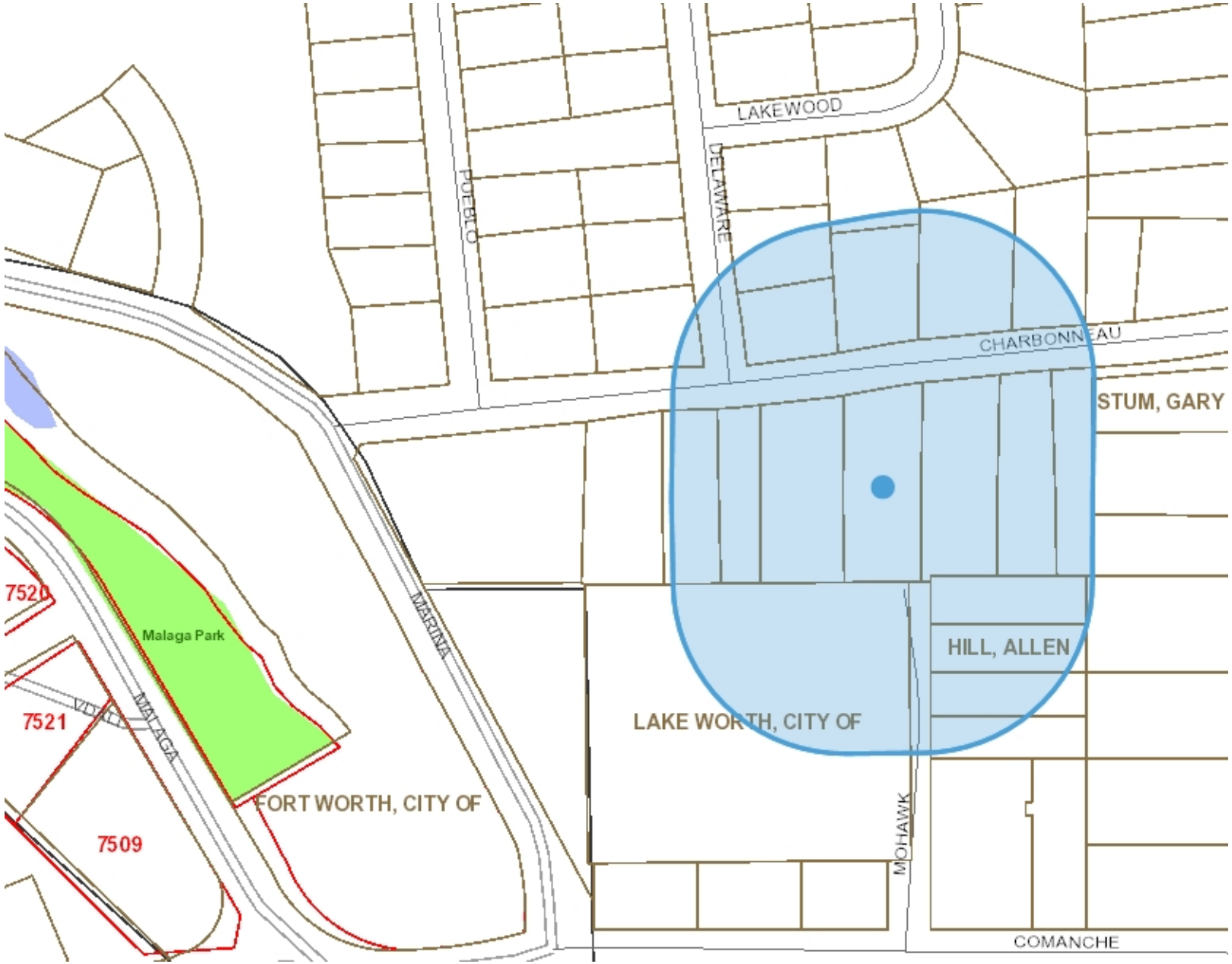
City of Lake Worth
3805 Adam Grubb
Lake Worth, Texas 76135

Anne Mader Wright
3701 Delaware Trail
Lake Worth, Texas 76135

Gary Stum
12605 Foster Circle
Azle, Texas 76020

Alan D/Patricia S Parker
3700 Delaware Trail
Lake Worth, Texas 76135

Judy Crow
PO Box 150231
Fort Worth, Texas 76108



Legend

- Parcels
- Lots
- Arterials
- Freeways
- Streets
- Tarrant County Streets
- Parks
- Lakes
- City Limit
- Extraterritorial Jurisdiction (ETJ)

FORT WORTH®

4/6/18 11:02 AM

1: 2,045

0.1 0 0.03 0.1 Miles

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. The City of Fort Worth assumes no responsibility for the accuracy of said data.

NCTCOG ORTHOPHOTOGRAPHY

CITY OF LAKE WORTH
PUBLIC COMMENT FORM
(Please type or use black ink)

Planning & Zoning Department at 3805 Adam Grubb, Lake Worth, Texas 76135

☐ I am **FOR** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-04.

☒ I am **AGAINST** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-04.

Date, Time and Location of Planning & Zoning Commission Meeting: **Tuesday, April 17, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Date, Time and Location of City Council Meeting: **Tuesday, May 8, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Name: KELLY WHITE
(Please print)

Mailing Address: 7224 CHARBONNEAU Road
LAKE WORTH, TX 76135

Block 6, Lot 16
Lake Worth Heights
Subdivision

Signature: Kelly White

Date: 04/10/2018

Property Address(s): 7224 CHARBONNEAU ROAD
LAKE WORTH, TX 76135

COMMENTS:
Proposed PLAT of 0.5030 WITH 4 LOTS is undesirable. The property values of surrounding homes would likely decrease as the traffic would increase and the new homes would be SMALL for the neighborhood,

PLEASE TURN IN PUBLIC COMMENT FORM NO LATER THAN
THURSDAY, APRIL 12, 2018 @ NOON TO BE INCLUDED IN THE AGENDA PACKET

RECEIVED
APR 11 2018
SM

Lake Worth Planning & Zoning Commission Meeting – April 17, 2018

Agenda Item No. C.3

From: Suzanne Meason, Planning & Zoning Administrator

Item: Public Hearing to consider Planning & Zoning Case No. PZ-2018-05, a proposed final plat being all of a 0.5030-acre tract of land legally known as Abstract 1552, Tract 2HH, Moses Townsend Survey of the records of Tarrant County, Texas. The proposed final plat's new legal description will be Block 1, Lot(s) 3 and 4, Moses Townsend Addition, commonly known as 7229 Charbonneau and 3612 Mohawk Trail, Lake Worth, Texas.

Property Description:
0.5030-acre tract of land, located at 7229 Charbonneau

Property Owner(s):
Bassim Abifaraj, 1501 Dream Dust Court, Keller, Texas 76248

Applicant:
Bassim Abifaraj, 1501 Dream Dust Court, Keller, Texas 76248

Engineer/Surveyor:
Jason Rawlings, Miller Surveying, Inc., 430 Mid Cities Blvd., Hurst, Texas 76054

Current Zoning:
"SF1" – Single Family Residential

Proposed Use(s):
"SF1" – Single Family Residential

Existing Road(s):
Charbonneau and Mohawk Trail

Surrounding Zoning:
North: The property to the north is currently zoned SF-1 Single Family Residential.

South: The property to the south is currently zoned SF-1 Single Family Residential.

East: The property to the east is currently zoned SF-1 Single Family Residential.

West: The property to the west is currently zoned SF-1 Single Family Residential.

Summary:
Mr. Abifaraj is the owner of the property and desires to construct two (2) new residences. The property had a structure on it prior, which was demolished and removed. When Mr. Abifaraj

contacted the City at first about building a new residence it was discovered that the property had never been platted. He was advised that he would have to plat the property prior to any new construction. In his preparation of the plat he decided that he wanted to make two (2) lots out of the property. The proposed lot(s) meet the city's requirements for platting. The preliminary plat document was heard just prior, now the final plat must be heard. The final plat was prepared and has been reviewed by city staff and is ready to be heard by the Planning and Zoning Commission for recommendation to the City Council.

The case was uploaded into the RCC review tool and those comments (if any) will be presented to the Commission on Tuesday at the meeting.

Public Input:
On Friday, April 6, 2018 as required by State law, the City mailed out twenty-one (21) letters of Notification for a Public Hearing to all property owners within two hundred (200') feet of the subject site. Notice was also published in the City's paper of record, the Fort Worth Star Telegram on Friday, March 30, 2018. We have received the following in favor/opposition to the request:

1. FOR – 1 form received. Property owner is ok with it if it is going to be single family residences.
2. AGAINST – 1 form received. Property owner who submitted form did not contact staff for details but thinks that it will be four (4) lots, not just two (2).

Fiscal Impact:
N/A

Attachments:
1. Subdivision Application/Waiver of 30 Day Action Form
2. Final Plat Document/Utility Plan/Drainage Study
3. Public Hearing Notice
4. Public Hearing Notifications (within 200' of subject property)
5. Vicinity Map
6. Returned Public Comment Forms

Recommended Motion or Action:
Staff's recommends approval of Agenda Item C.3 as presented.

BUILDING DEVELOPMENT SERVICES
PLANNING & ZONING DIVISION
3805 ADAM GRUBB, LAKE WORTH, TEXAS 76135
817-255-7922 OR SMEASON@LAKEWORTHTX.ORG

FOR OFFICE USE ONLY
Case No: PZ-2018-04+PZ-2018-05
Date Submitted: 02.09.18

APPLICATION FOR SUBDIVISION PLAT APPROVAL

(CHECK ONE)

X **PRELIMINARY PLAT** X **FINAL PLAT** ____ **REPLAT** ____ **AMENDING/CORRECTION PLAT**

PROPOSED SUBDIVISION NAME Lot 3 & 4, Moses Townshend Addition

CURRENT ZONING CLASSIFICATION Single Family Residential

CURRENT LEGAL DESCRIPTION Tract 2HH - Moses Townshend Survey A-1552

TOTAL ACRES 0.5030 **# OF LOTS** 2 **PROPOSED USE** SFR

APPLICANT/DEVELOPER INFORMATION

NAME Bassim Abifaraj
ADDRESS 1501 Dream Dust Ct. CITY Keller
STATE Texas ZIP 76248 EMAIL bnrproperties@gmail.com
PHONE 954-325-4418 FAX

PROPERTY OWNER INFORMATION

NAME Applicant
ADDRESS CITY
STATE ZIP EMAIL
PHONE FAX

SURVEYOR/ARCHITECT/ENGINEER INFORMATION

NAME Jason Rawlings (Miller Surveying, Inc.)
ADDRESS 430 Mid Cities Blvd CITY Hurst
STATE TX ZIP 76054 EMAIL jason@millersurvey.net
PHONE 817-577-1052 FAX

I hereby certify that I am the owner of the property described above and further certify that the information provided on this development application is true and correct. I further understand that the public hearing for this project will not be scheduled until the application fee(s) have been paid and the plans have been reviewed and accepted by City staff. *IF APPLICATION IS SIGNED BY SOMEONE OTHER THAN THE OWNER, THEN AN OWNER AUTHORIZATION FORM MUST BE COMPLETED AND TURNED IN WITH APPLICATION.*

SIGNATURE OF OWNER, AGENT, OR APPLICANT **DATE** 2/9/18

GENERAL INFORMATION

A plat is intended to serve as the official recorded map of the property to be developed, showing thereon the boundaries, lots, public streets and easements and other significant public facilities and features which are necessary to serve the development. All plats shall conform to the Lake Worth Subdivision and Development Ordinance and Design Criteria and Construction Standards.

Owner signature: The plat application is required to be signed by the **current property owner**. If the property owner is not available to sign the application, then an owner authorization form (City provided) from the property owner is required to be submitted which empowers a designee to sign for the property owner.

Waiver from Section 212.009: The Texas Local Government Code requires that the municipal authority responsible for approving plats must take action on a plat within thirty (30) days of the plat application being accepted. A plat is considered approved by the municipal authority unless it is disapproved within that period. Because thirty (30) days is generally not enough time for a plat to be processed by City Staff and forwarded to the Planning and Zoning Commission and City Council for approval, a waiver of action form must be signed. **If the waiver of action form is not signed and submitted, then it is likely that the plat will be forwarded to the Planning and Zoning Commission with a staff recommendation of denial within thirty (30) days of the application being accepted. The waiver must be signed by the property owner or by the property owner's designee as noted on the owner authorization form.**

Acceptance of plat application: All plat applications will be reviewed for completeness in accordance with this checklist before they are accepted by City Staff. Failure of applicant to provide the required information constitutes grounds for refusal of plat acceptance for processing; or staff recommendation of denial when application is scheduled for consideration.

SUBMITTAL CHECKLIST

The following items must be turned in for the subdivision plat application to be accepted and processed by this department:

- X SUBDIVISION PLAT APPLICATION
- ___ OWNER AUTHORIZATION FORM (IF APPLICABLE)
- X SIGNED WAIVER OF 30 DAY ACTION FORM
- X APPLICATION FEE (VERIFY WITH P&Z ADMINISTRATOR)
- X FOUR (4) HARD COPIES OF SUBDIVISION PLAT DOCUMENT (SIZE 24 x 36 FOLDED INTO 8½ x 11)
- X ELECTRONIC VERSION (.pdf) OF THE SUBDIVISION PLAT DOCUMENT EMAILED TO SMEASON@LAKEWORTHTX.ORG
- X FOUR (4) HARD COPIES OF CIVIL CONSTRUCTION PLANS (IF APPLICABLE) from eng.

OFFICE USE ONLY

Fee: 5,570.00
Date Paid: 02-13-18
Receipt #: P18-0124 + P18-0125
Ownership Verified:
☑ YES ☐ NO
Taxes Paid:
☑ YES ☐ NO
Liens Paid:
☑ YES ☐ NO

Public Hearing Newspaper Notice Deadline Date: 3.30.18
Public Hearing 200' Notification Deadline Date: 4.7.18
P&Z Commission Meeting Date: 4.17.18
City Council Meeting Date: 5.3.18

Plat Approval Date:
Plat File Date:
Instrument #:

BUILDING DEVELOPMENT SERVICES
PLANNING & ZONING DIVISION
3805 ADAM GRUBB, LAKE WORTH, TEXAS 76135
817-255-7922 OR SMEASON@LAKEWORTHTX.ORG

FOR OFFICE USE ONLY
Case No: _____
Date Submitted: _____
Accepted By: _____

WAIVER OF 30 DAY ACTION REQUIREMENT FOR PLATTING

(CHECK ONE)

X **PRELIMINARY PLAT** X **FINAL PLAT** ____ **REPLAT** ____ **AMENDING/CORRECTION PLAT**

PROPOSED SUBDIVISION NAME Lot 3 & 4, Moses Townshend Addition

CURRENT LEGAL DESCRIPTION Tract 2HH - Moses Townshend Survey A-1552

TOTAL ACRES 0.5030 **# OF LOTS** 2 **PROPOSED USE** SFR

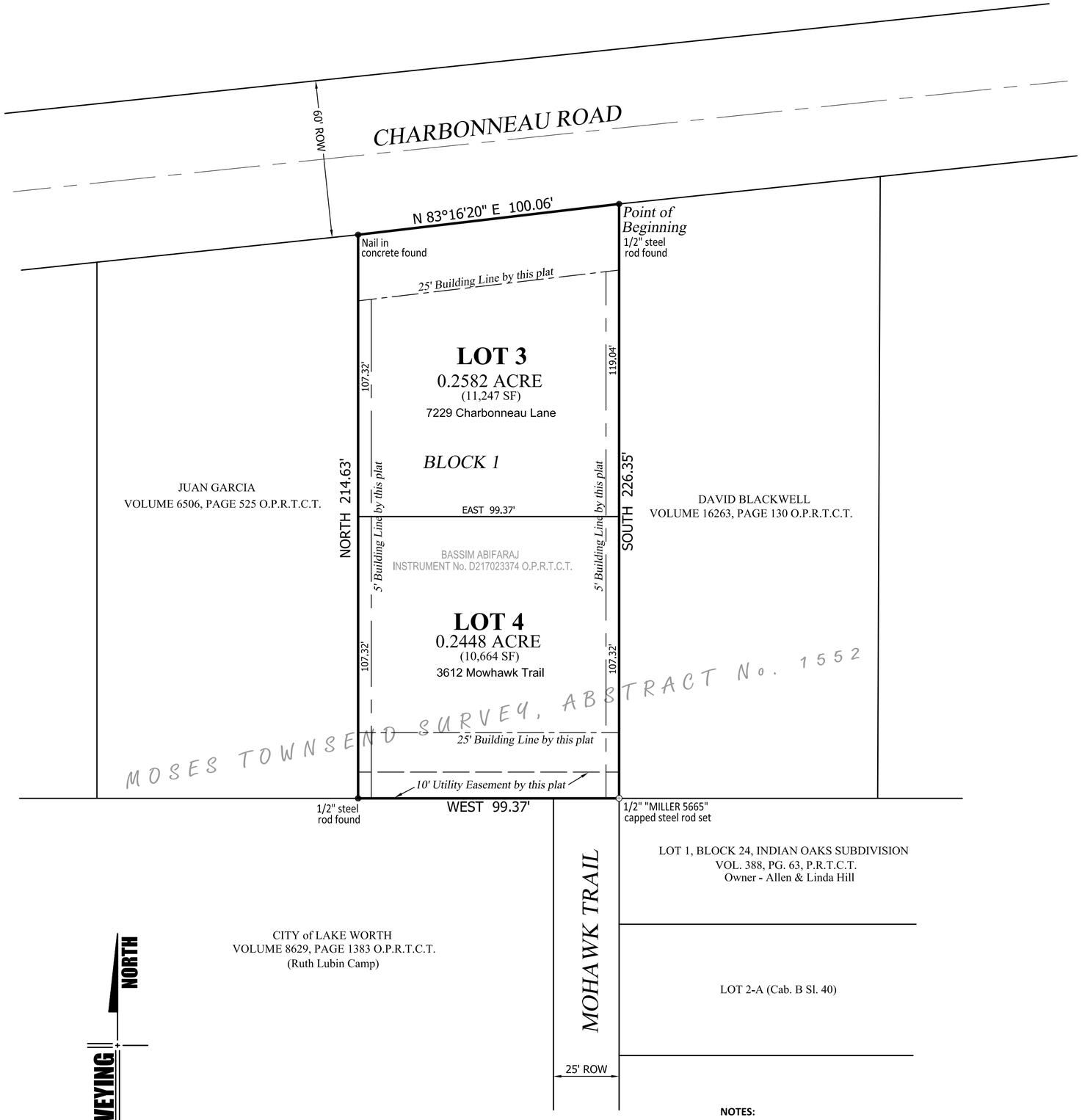
PROPERTY OWNER INFORMATION

NAME Bassim Abifaraj
ADDRESS 1501 Dream Dust Ct. CITY Keller
STATE Texas ZIP 76248 EMAIL bnrproperties@gmail.com
PHONE 954-325-4418 FAX

I hereby affirm that I am the owner or an authorized representative of the owner of the property described above which is being submitted for the platting process and I hereby waive my right to have action taken on my plat within the thirty (30) day period as required by section 212.009 of Texas Local Government Code.

IF APPLICATION IS SIGNED BY SOMEONE OTHER THAN THE OWNER, THEN AN OWNER AUTHORIZATION FORM MUST BE COMPLETED AND TURNED IN WITH APPLICATION.

SIGNATURE OF OWNER, AGENT, OR APPLICANT **DATE** 2/9/18



STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS Bassim Abifaraj is the sole owner of the following described tract of land to wit:

Being a tract of land out of the Moses Townsend Survey, Abstract No. 1552 and situated in the City of Lake Worth, Tarrant County, Texas, and surveyed by Miller Surveying, Inc. of Hurst, Texas in May 2017, said tract being that same tract of land described in the deed to Bassim Abifaraj recorded as Instrument No. D217023374, Official Public Records of Tarrant County, Texas and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch steel rod set for the northeast corner of said Abifaraj tract, said rod being in the southeasterly right-of-way line of Charbonneau Road;

Thence SOUTH with the east boundary line of said tract a distance of 226.35 feet to a 1/2" "MILLER 5665" capped steel rod set for the southeast corner of said tract;

Thence WEST with the south boundary line of said tract a distance of 99.37to a 1/2" steel rod found for the southwest corner of said tract;

Thence NORTH with the west boundary line of said tract a distance of 214.63 feet to a nail in concrete found for the northwest corner of said tract, said nail being in the said right-of-way line;

Thence North 83 degrees 16 minutes 20 seconds East with said right-of-way line a distance of 100.06 feet to the point of beginning and containing 0.5030 acres of land more or less.;

KNOW ALL BY THESE PRESENTS THAT I HEREBY ADOPT THE SAME TO BE KNOWN AS:

LOT 3 AND LOT 4, BLOCK 1, MOSES TOWNSEND ADDITION
An addition to the City of Lake Worth, Tarrant County, Texas and do hereby dedicate to the public use forever the easements and rights-of-way as shown hereon.

Executed this the _____ day of _____, 2018.

By: _____
Bassim Abifaraj

STATE OF TEXAS

COUNTY OF TARRANT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Bassim Abifaraj, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated and as the act and deed of said corporation.

Given under my hand and seal of office this _____ day of _____, 2018.

_____
Notary Public in and for the State of Texas

My commission expires: _____

OWNER/APPLICANT:

BASSIM ABIFARAJ
1501 DREAM DUST CT.
KELLER, TX. 76248
954-325-4418

This is to certify that I, Jason B. Rawlings, a Registered Professional Land Surveyor for the State of Texas, have platted the subdivision from an actual survey on the ground, and that this plat correctly represents that survey work by me and those under my supervision.

_____
Jason B. Rawlings Date
R. P. L. S. 5665

STATE OF TEXAS REGISTERED JASON B. RAWLINGS 5665 PROFESSIONAL LAND SURVEYOR

MILLER Surveying, Inc.
Commercial • Residential • Municipal
430 Mid Cities Blvd. 817-577-1052
Hurst, Texas 76054 TxLSF No. 10100400
MillerSurvey.net

NOTES:

Both lots are Single Family Residential.

Based on scaling the surveyed tract shown hereon onto the FEMA Flood Insurance Rate Map No. 48439C0165K (Rev. 9-25-09), said lot lies within FEMA Zone X and does not lie within the FEMA designated 100-year flood plain. Miller Surveying, Inc. makes no statement as to the likelihood of the actual flooding of said surveyed lot.

Final Plat

LOT 3 AND LOT 4, BLOCK 1
MOSES TOWNSEND ADDITION

An addition to the City of Lake Worth, Tarrant County, Texas
Being 0.5030 acres out of the
Moses Townsend Survey, Abstract No. 1552
City of Lake Worth, Tarrant County, Texas

Surveyed in May 2017

This plat is filed as Document No. _____ in the Plat Records of Tarrant County, Texas, Date _____

Job No. 13137 • Plot File 13137

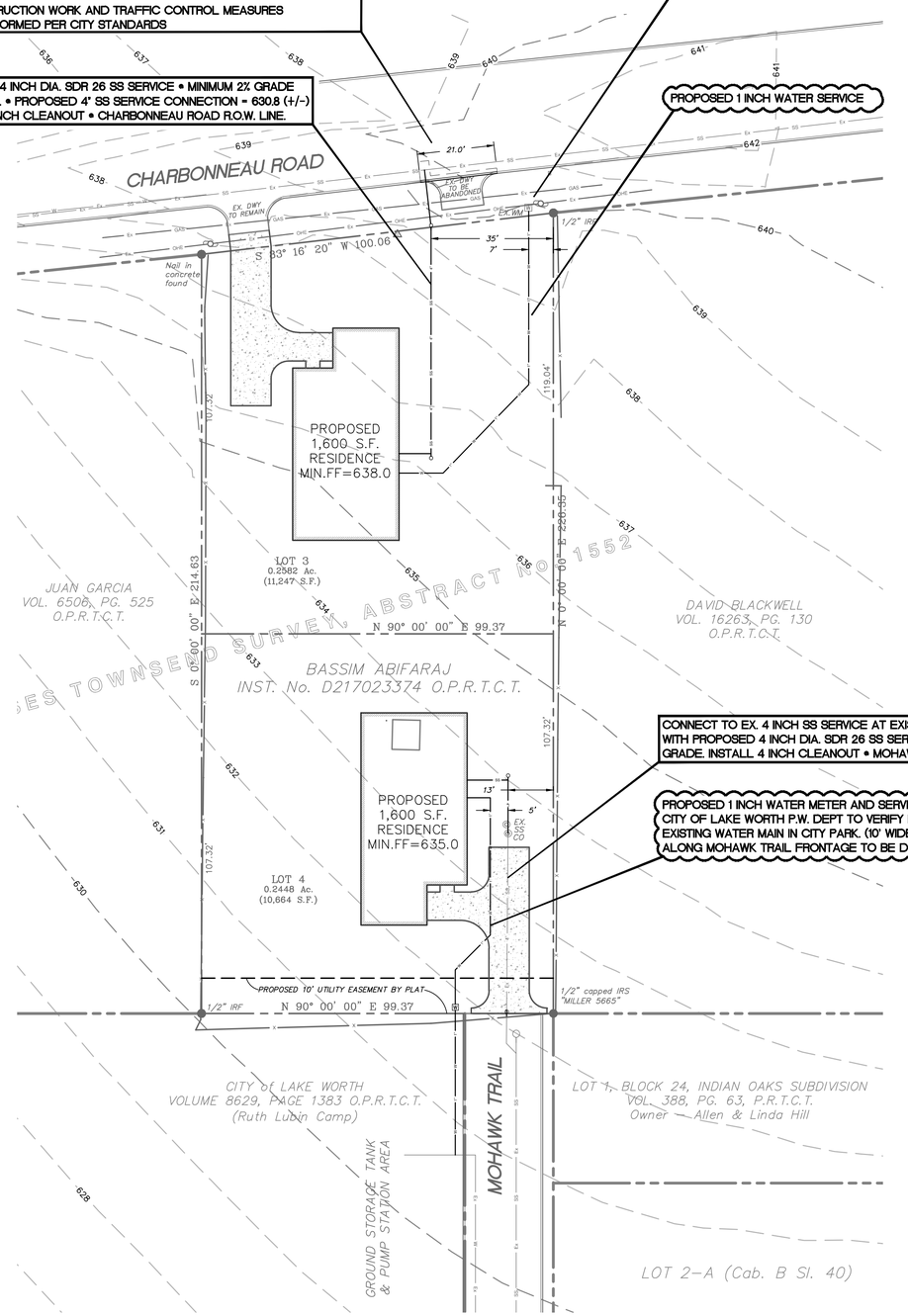
CONSTRUCT:
1 LS. - FULL DEPTH SAW-CUT ON EXISTING ASPHALT STREET
1 LS. - CONCRETE DRIVEWAY REMOVAL AND RIGHT-OF-WAY RESTORATION
21 L.F. - CONCRETE CURB AND GUTTER
35 S.F. - ASPHALT PAVEMENT REPAAIR

ALL CONSTRUCTION WORK AND TRAFFIC CONTROL MEASURES TO BE PERFORMED PER CITY STANDARDS

PROPOSED 4 INCH DIA. SDR 26 SS SERVICE • MINIMUM 2% GRADE
EX. 6" SS FL • PROPOSED 4" SS SERVICE CONNECTION = 630.8 (+/-)
INSTALL 4 INCH CLEANOUT • CHARBONNEAU ROAD R.O.W. LINE.

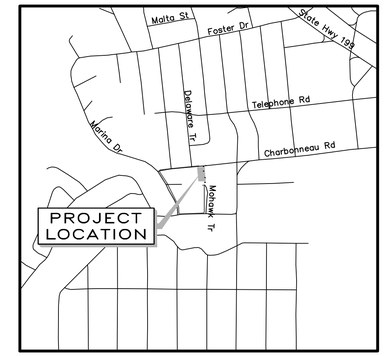
EX. 1 INCH WATER METER TO REMAIN

PROPOSED 1 INCH WATER SERVICE



CONNECT TO EX. 4 INCH SS SERVICE AT EXISTING CLEANOUTS WITH PROPOSED 4 INCH DIA. SDR 26 SS SERVICE • MINIMUM 2% GRADE. INSTALL 4 INCH CLEANOUT • MOHAWK TRAIL R.O.W. LINE.

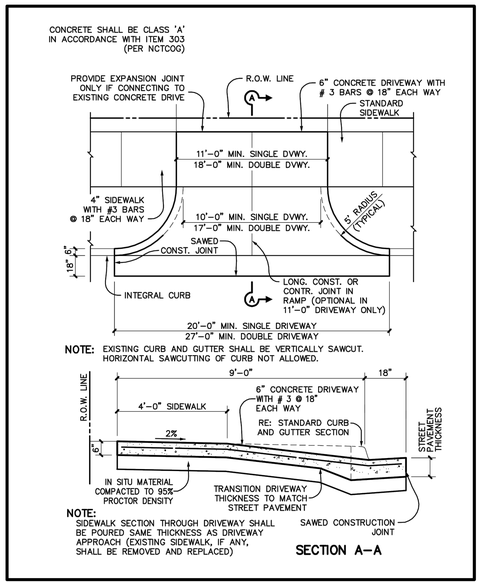
PROPOSED 1 INCH WATER METER AND SERVICE.
CITY OF LAKE WORTH P.W. DEPT TO VERIFY EXACT LOCATION OF EXISTING WATER MAIN IN CITY PARK. (10' WIDE UTILITY EASEMENT ALONG MOHAWK TRAIL FRONTAGE TO BE DEDICATED BY PLAT).



VICINITY MAP
SCALE: 1" = 1000'

LEGEND

- PROPERTY CORNER – IRON ROD FOUND
- PROPERTY CORNER – IRON ROD SET
- STREET LIGHT
- TRAFFIC SIGNAL POLE
- UTILITY POLE
- GUY WIRE
- TELEPHONE MANHOLE
- GAS METER
- SIGN
- SANITARY SEWER CLEANOUT
- EXISTING / PROPOSED SANITARY SEWER MANHOLE
- GRATE INLET
- STORM SEWER MANHOLE
- EXISTING / PROPOSED FIRE HYDRANT
- WATER METER
- EXISTING / PROPOSED WATER VALVE
- CHAIN LINK FENCE
- WIRE FENCE
- WOOD FENCE
- OVERHEAD ELECTRIC LINE–EXISTING
- OVERHEAD ELECTRIC LINE–PROPOSED
- UNDERGROUND ELECTRIC LINE–EXISTING
- UNDERGROUND ELECTRIC LINE–PROPOSED
- WATER LINE–EXISTING
- WATER LINE–PROPOSED
- SANITARY SEWER LINE–EXISTING
- SANITARY SEWER LINE–PROPOSED
- NATURAL GAS LINE–EXISTING
- NATURAL GAS LINE–PROPOSED
- TELEPHONE LINE–EXISTING
- TELEPHONE LINE–PROPOSED
- SILT FENCE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CEMENT TREATED FLEX BASE PAVEMENT
- PROPOSED GRAVEL AREA
- PROPOSED CONCRETE SIDEWALK



City of LAKE WORTH TEXAS	PAVING CONSTRUCTION DETAILS RESIDENTIAL DRIVEWAY	REVISED MAY 2006 SCALE: N.T.S. SHEET: P–5A

GRAPHIC SCALE
0 10 20 40
Half Size: 1 inch = 40 ft.
Full Size: 1 inch = 20 ft.

HUFFMAN CONSULTING ENGINEERS
TEXAS REGISTERED ENGINEERING FIRM F-12488
6716 AZLE AVENUE
FORT WORTH, TEXAS 76135
Phone: (817) 357-5354
Fax: (817) 357-5340
Email: JHUFFMAN@HCE-E.NET

PROJECT ID: ####

NUMBER	REVISION	DATE
6	####	####
5	####	####
4	####	####
3	####	####
2	####	####
1	REVISIONS PER 180222 CITY REVIEW COMMENTS	180307

□E□S□N□S

PROPOSED IMPROVEMENTS OF

ABIFARAJ RESIDENCE

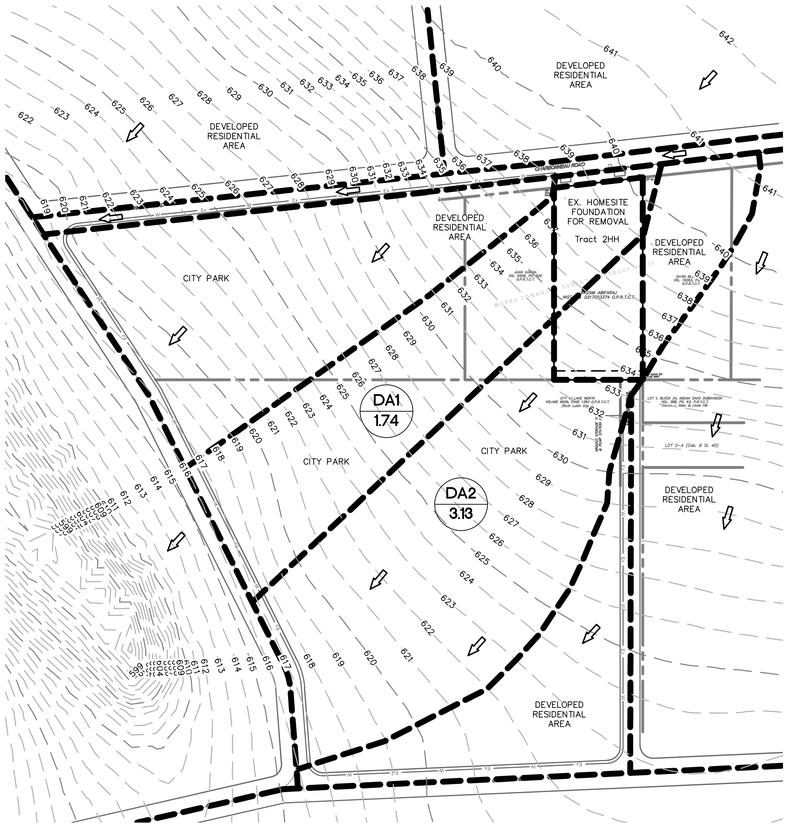
FOR

LOTS 3 AND 4, MOSES' TOWNSEND ADDITION
LAKE WORTH, TEXAS

HUFFMAN CONSULTING ENGINEERS
STATE OF TEXAS
JACE D. HUFFMAN
70155
PROFESSIONAL ENGINEER
03/07/18
F-12488

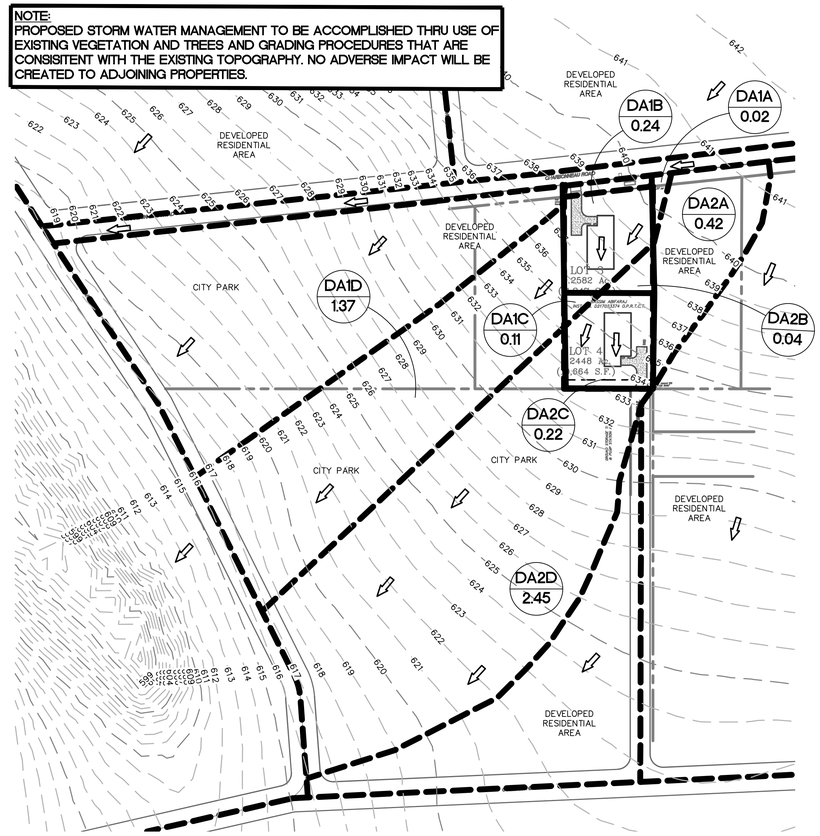
SITE PLAN

DATE	03/07/18		
DESIGN BY	JYH	DRAWN BY	AMR
REVIEW BY	HCE		
SHEET NO.	C1		

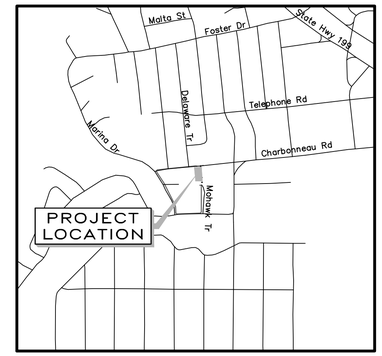


PRE-DEVELOPED CONDITION - DRAINAGE AREA MAP

NOTE:
PROPOSED STORM WATER MANAGEMENT TO BE ACCOMPLISHED THRU USE OF EXISTING VEGETATION AND TREES AND GRADING PROCEDURES THAT ARE CONSISITENT WITH THE EXISTING TOPOGRAPHY. NO ADVERSE IMPACT WILL BE CREATED TO ADJOINING PROPERTIES.



POST-DEVELOPED CONDITION - DRAINAGE AREA MAP



VICINITY MAP
SCALE: 1" = 1000'

LEGEND

- PROPERTY CORNER – IRON ROD FOUND
- PROPERTY CORNER – IRON ROD SET
- STREET LIGHT
- TRAFFIC SIGNAL POLE
- UTILITY POLE
- GUY WIRE
- TELEPHONE MANHOLE
- GAS METER
- SIGN
- SANITARY SEWER CLEANOUT
- EXISTING / PROPOSED SANITARY SEWER MANHOLE
- GRATE INLET
- STORM SEWER MANHOLE
- EXISTING / PROPOSED FIRE HYDRANT
- WATER METER
- EXISTING / PROPOSED WATER VALVE
- CHAIN LINK FENCE
- WIRE FENCE
- WOOD FENCE
- OVERHEAD ELECTRIC LINE–EXISTING
- OVERHEAD ELECTRIC LINE–PROPOSED
- UNDERGROUND ELECTRIC LINE–EXISTING
- UNDERGROUND ELECTRIC LINE–PROPOSED
- WATER LINE–EXISTING
- WATER LINE–PROPOSED
- SANITARY SEWER LINE–EXISTING
- SANITARY SEWER LINE–PROPOSED
- NATURAL GAS LINE–EXISTING
- NATURAL GAS LINE–PROPOSED
- TELEPHONE LINE–EXISTING
- TELEPHONE LINE–PROPOSED
- SILT FENCE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CEMENT TREATED FLEX BASE PAVEMENT
- PROPOSED GRAVEL AREA
- PROPOSED CONCRETE SIDEWALK

DRAINAGE CALCULATIONS
(PRE-DEVELOPMENT)

DRAINAGE AREA	AREA (acres)	C	Tc (min.)	I-1yr (in./hr)	I-10yr (in./hr)	I-100yr (in./hr)	Q-1yr (cfs)	Q-10yr (cfs)	Q-100yr (cfs)	COMMENTS
DA1	1.74	0.42	15	3.32	5.53	7.98	2.42	4.04	5.83	LARGE LOT RES. DEVELOPMENT + PARK AREA
DA2	3.13	0.36	15	3.32	5.53	7.98	3.74	6.23	8.99	LARGE LOT RES. DEVELOPMENT + PARK AREA
TOTAL =	4.87					TOTAL =	6.16	10.27	14.82	

Note:
1. PRE-DEVELOPMENT WEIGHTED "C" COEFFICIENT VALUE FOR DRAINAGE AREA DA1 DETERMINED FROM LAND USE TABLE - RESIDENTIAL CATEGORY (0.55) AND UNDEVELOPED PROPERTY CATEGORY (0.30).
WEIGHTED "C" = ((0.30 x 0.90) + (0.55 x 0.84)) / 1.74 = 0.42

2. PRE-DEVELOPMENT WEIGHTED "C" COEFFICIENT VALUE FOR DRAINAGE AREA DA2 DETERMINED FROM LAND USE TABLE - RESIDENTIAL CATEGORY (0.55) AND UNDEVELOPED PROPERTY CATEGORY (0.30).
WEIGHTED "C" = ((0.30 x 2.38) + (0.55 x 0.75)) / 3.13 = 0.36

DRAINAGE CALCULATIONS
(POST-DEVELOPMENT)

DRAINAGE AREA	AREA (acres)	C	Tc (min.)	I-1yr (in./hr)	I-10yr (in./hr)	I-100yr (in./hr)	Q-1yr (cfs)	Q-10yr (cfs)	Q-100yr (cfs)	COMMENTS
DA1A	0.02	0.55	10	4.06	6.51	9.24	0.05	0.07	0.10	LARGE LOT RES. DEVELOPMENT
DA1B	0.24	0.55	10	4.06	6.51	9.24	0.54	0.86	1.22	PROPOSED LOT 3 HOME SITE REDEVELOPMENT
DA1C	0.11	0.55	10	4.06	6.51	9.24	0.25	0.39	0.56	PROPOSED LOT 4 HOME SITE REDEVELOPMENT
DA1D	1.37	0.41	15	3.32	5.53	7.98	1.86	3.11	4.48	LARGE LOT RES. DEVELOPMENT + PARK AREA
DA2A	0.42	0.55	10	4.06	6.51	9.24	0.94	1.50	2.13	LARGE LOT RES. DEVELOPMENT
DA2B	0.04	0.55	10	4.06	6.51	9.24	0.09	0.14	0.20	PROPOSED LOT 3 HOME SITE REDEVELOPMENT
DA2C	0.22	0.55	10	4.06	6.51	9.24	0.49	0.79	1.12	PROPOSED LOT 4 HOME SITE REDEVELOPMENT
DA2D	2.45	0.31	15	3.32	5.53	7.98	2.52	4.20	6.06	LARGE LOT RES. DEVELOPMENT + PARK AREA
TOTAL =	4.87					TOTAL =	6.74	11.06	15.87	

Note:
1. PRE-DEVELOPMENT WEIGHTED "C" COEFFICIENT VALUE FOR DRAINAGE AREA DA1D DETERMINED FROM LAND USE TABLE - RESIDENTIAL CATEGORY (0.55) AND UNDEVELOPED PROPERTY CATEGORY (0.30).
WEIGHTED "C" = ((0.30 x 0.90) + (0.55 x 0.47)) / 1.37 = 0.39

2. PRE-DEVELOPMENT WEIGHTED "C" COEFFICIENT VALUE FOR DRAINAGE AREA DA2D DETERMINED FROM LAND USE TABLE - RESIDENTIAL CATEGORY (0.55) AND UNDEVELOPED PROPERTY CATEGORY (0.30).
WEIGHTED "C" = ((0.30 x 2.38) + (0.55 x 0.07)) / 2.45 = 0.31

DRAINAGE LEGEND

DA1 / 0.78 — DRAINAGE AREA NUMBER; DRAINAGE AREA SIZE (AC.)

- EXISTING DRAINAGE AREA BOUNDARY
- PROPOSED DRAINAGE AREA BOUNDARY
- FLOW DIRECTION

NORTH

GRAPHIC SCALE
0 40 80 160
Full Size: 1 inch = 80 ft.

HUFFMAN CONSULTING ENGINEERS
TEXAS REGISTERED ENGINEERING FIRM F-12488
6716 AZLE AVENUE
FORT WORTH, TEXAS 76135
Phone: (817) 357-5354
Fax: (817) 357-5342
Email: JHUFFMAN@HCE-E.NET

PROJECT ID: ####

NUMBER	REVISION	DATE
6	####	####
5	####	####
4	####	####
3	####	####
2	####	####
1	####	####

REVISIONS

PROPOSED IMPROVEMENTS OF

ABIFARAJ RESIDENCE

FOR

LOTS 3 AND 4, MOSES' TOWNSEND ADDITION
LAKE WORTH, TEXAS

HUFFMAN CONSULTING ENGINEERS
STATE OF TEXAS
JACE D. HUFFMAN
70155
PROFESSIONAL ENGINEER
F-12488
03/07/18

DRAINAGE STUDY

DATE	03/07/18
DESIGN BY	JYH
DRAWN BY	AMR
REVIEW BY	HCE
SHEET NO.	C2

CITY OF LAKE WORTH
NOTICE OF PUBLIC HEARING
PLANNING AND ZONING COMMISSION
AND CITY COUNCIL

FINAL PLAT REQUEST
PLANNING & ZONING CASE #PZ-2018-05

You may own property within two hundred feet (200') of the property described in the notice below. The owner of the lot has made application for a land use designation and site plan amendment. Attached you will find a map of the general location of the request. You are invited to attend and participate in the following public hearings regarding this application:

The Planning and Zoning Commission of the City of Lake Worth, Texas, will conduct the first of two public hearings at **6:30 p.m. on Tuesday, April 17, 2018**, at the Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135 to hear public comment and consider recommendations to the City Council regarding the proposed final plat being all of a 0.5030 acre tract of land legally known as Abstract 1552, Tract 2HH, Moses Townsend Survey of the records of Tarrant County, Texas. The proposed final plat's new legal description will be Block 1, Lot(s) 3 and 4, Moses Townsend Addition, commonly known as 7229 Charbonneau and 3612 Mohawk Trail, Lake Worth, Texas. The City Council will conduct a second Public Hearing at **6:30 p.m. on Tuesday, May 8, 2018**, at Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135 to hear public comment and consider. All interested parties are encouraged to attend.

VICINITY MAP ON REVERSE

Kelly W White
7224 Charbonneau
Lake Worth, Texas 76135

Jordan Dietzel
7217 Charbonneau
Lake Worth, Texas 76135

Donald J Lovell
3613 Shawnee Trail
Lake Worth, Texas 76135

Burton G Howard
7220 Charbonneau
Lake Worth, Texas 76135

Carol Ware
3913 Lakewood Drive
Lake Worth, Texas 76135

William L Cowden Real Est LLC
5760 Popken Drive
Fort Worth, Texas 76114

Joe D Rhodes
3804 Lakewood Drive
Lake Worth, Texas 76135

David/Linda K Blackwell
7225 Charbonneau
Lake Worth, Texas 76135

Krystal Cervantes
2704 Refugio Avenue
Fort Worth, Texas 76164

Bassim Abifaraj
1501 Dream Dust Court
Keller, Texas 76248

Allen/Linda Hill
3608 Mohawk Trail
Lake Worth, Texas 76135

Juan Jamie/Dora Garcia
7301 Charbonneau
Lake Worth, Texas 76135

Rainwater Enterprises Inc.
8941 Waterchase Circle
Fort Worth, Texas 76120

Virgilio D Portales
7309 Charbonneau
Lake Worth, Texas 76135

Sean/Esmeralda Campbell
709 Schilder
Fort Worth, Texas 76114

Frances Hicks Walker
3704 Delaware Trail
Lake Worth, Texas 76135

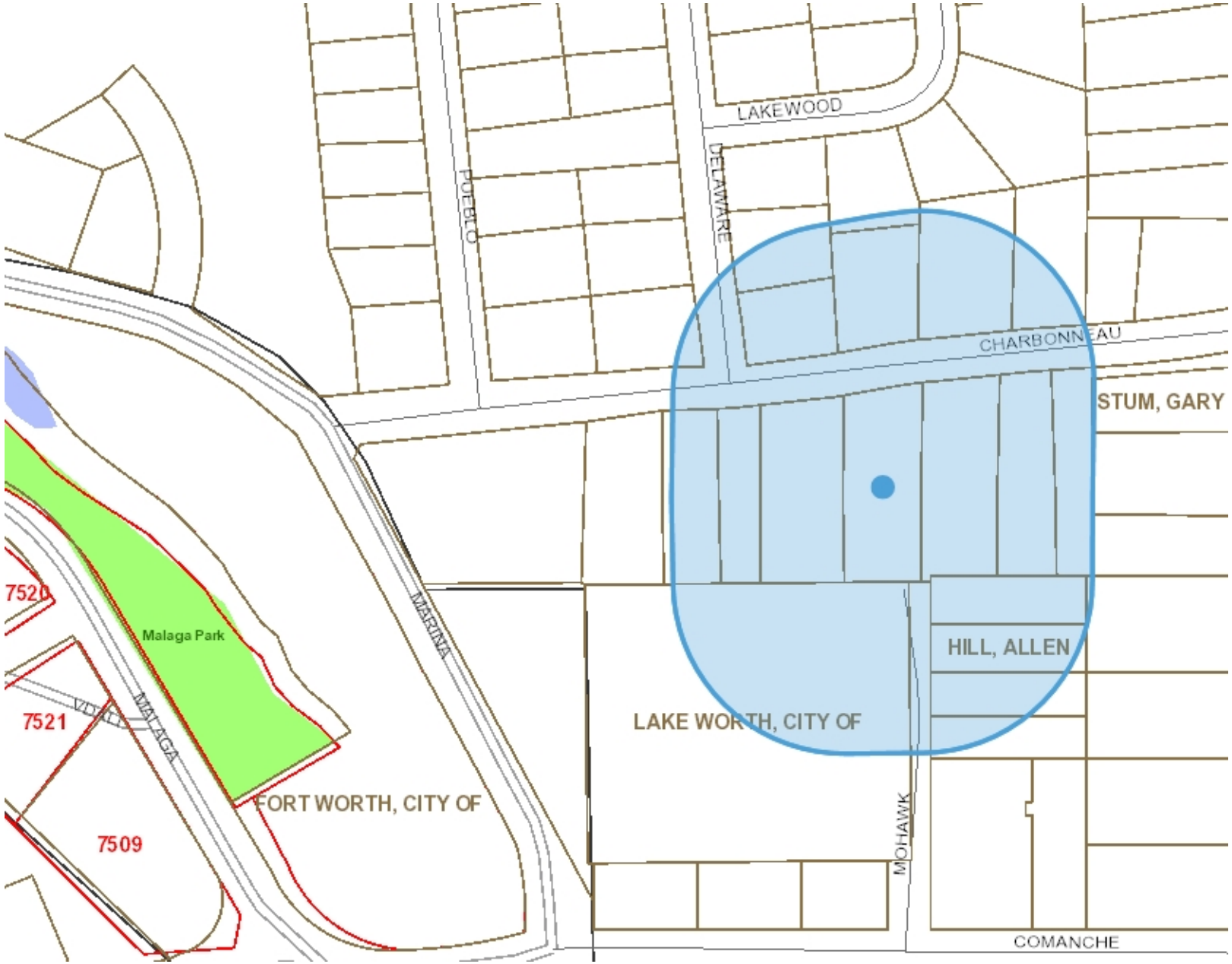
City of Lake Worth
3805 Adam Grubb
Lake Worth, Texas 76135

Anne Mader Wright
3701 Delaware Trail
Lake Worth, Texas 76135

Gary Stum
12605 Foster Circle
Azle, Texas 76020

Alan D/Patricia S Parker
3700 Delaware Trail
Lake Worth, Texas 76135

Judy Crow
PO Box 150231
Fort Worth, Texas 76108



Legend

- Parcels
- Lots
- Arterials
- Freeways
- Streets
- Tarrant County Streets
- Parks
- Lakes
- City Limit
- Extraterritorial Jurisdiction (ETJ)

FORT WORTH®

4/6/18 11:02 AM

1: 2,045

0.1 0 0.03 0.1 Miles

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. The City of Fort Worth assumes no responsibility for the accuracy of said data.

NCTCOG ORTHOPHOTOGRAPHY

CITY OF LAKE WORTH
PUBLIC COMMENT FORM
(Please type or use black ink)

Planning & Zoning Department at 3805 Adam Grubb, Lake Worth, Texas 76135

☒ I am **FOR** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-05.

☐ I am **AGAINST** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-05.

Date, Time and Location of Planning & Zoning Commission Meeting: **Tuesday, April 17, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Date, Time and Location of City Council Meeting: **Tuesday, May 8, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Name: ALAN D. PARKER
(Please print)

Mailing Address: 3700 DELAWARE TRAIL
LAKE WORTH 76135

Block 6, Lot 15
Lake Worth Heights
Subdivision

Signature: [signature]

Date: 4-12-2018

Property Address(s):

COMMENTS:
AS LONG AS DEVELOPMENT REMAINS SINGLE FAMILY/
SINGLE DWELLING AS EXPLAINED

PLEASE TURN IN PUBLIC COMMENT FORM NO LATER THAN
THURSDAY, APRIL 12, 2018 @ NOON TO BE INCLUDED IN THE AGENDA PACKET

RECEIVED
APR 12 2018

CITY OF LAKE WORTH
PUBLIC COMMENT FORM
(Please type or use black ink)

Planning & Zoning Department at 3805 Adam Grubb, Lake Worth, Texas 76135

☐ I am **FOR** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-05.

☒ I am **AGAINST** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-05.

Date, Time and Location of Planning & Zoning Commission Meeting: **Tuesday, April 17, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Date, Time and Location of City Council Meeting: **Tuesday, May 8, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Name: STEPHANIE WHITE
(Please print)

Mailing Address: 7224 Charbonneau Rd.
Ft. Worth, TX 76135

Block 6, Lot 16
Lake Worth Heights
Subdivision

Signature: Stephanie White

Date: 04-10-2018

Property Address(s): 7224 Charbonneau Rd
Ft. Worth, TX 76135

COMMENTS:
I suggest 2 lots only as to keep property values stable. The owner of the plat would profit at the expense of the neighborhood with additional added lots.

PLEASE TURN IN PUBLIC COMMENT FORM NO LATER THAN
THURSDAY, APRIL 12, 2018 @ NOON TO BE INCLUDED IN THE AGENDA PACKET

RECEIVED
APR 11 2018
SM

Lake Worth Planning & Zoning Commission Meeting – April 17, 2018

Agenda Item No. C.4

From: Suzanne Meason, Planning & Zoning Administrator

Item: Public Hearing to consider Planning & Zoning Case No. PZ-2018-06, a proposed replat being all of 3.349-acres of land known as Block 32, Lot(s) 1-4 and 9-12, Indian Oaks Subdivision of the records of Tarrant County, Texas. The proposed replat's new legal description will be Block 32, Lot(s) Lot 1R1, 1R2, 2R1, 2R2, 3R, 4R1, 4R2, 9R1, 9R2, 10R, 11R1, 11R2, 12R1, and 12R2, Indian Oaks Subdivision, which is off Shawnee Trail, Apache Trail, and Caddo Trail, Lake Worth, Texas.

Property Description:
03.349-acres of land, located off Shawnee Trail, Apache Trail, and Caddo Trail

Property Owner(s):
Francisco Ruben Martinez and Ariadna Salas, 2924 Caddo Trail, Lake Worth, Texas 76135

Applicant:
Francisco Ruben Martinez and Ariadna Salas, 2924 Caddo Trail, Lake Worth, Texas 76135

Engineer/Surveyor:
Surveyor: Andrew Stevens, Stevens Land Surveying, PLLC, PO Box 26951, Fort Worth, Texas 76126
Engineer: Jaime Rodriguez, JG Rodriguez Engineering, LLC, 211 Hudson Oaks Drive, Hudson Oaks, Texas 76087

Current Zoning:
"SF1" – Single Family Residential

Proposed Use(s):
"SF1" – Single Family Residential

Existing Road(s):
Shawnee Trail, Apache Trail, and Caddo Trail

Surrounding Zoning:
North: The property to the north is currently zoned SF-1 Single Family Residential.

South: The property to the south is currently zoned SF-1 Single Family Residential.

East: The property to the east is currently zoned SF-1 Single Family Residential.

West: The property to the west is currently zoned SF-1 Single Family Residential.

Summary:
Mr. Martinez purchased lots 1-4 and 9-12 in December 2016 from the estate of Johnny Lee Cross, who still retains lots 5-8. Mr. Martinez wants to take the eight (8) existing platted lots and change up the lot configurations to make fourteen (14) lots.

This case was originally scheduled to be heard by the Planning and Zoning Commission in May 2017 but was withdrawn by the applicant, so he could hire a civil engineer to prepare plans to be reviewed and approved by staff. He reapplied in January 2018 to have the project move through the process.

Mr. Martinez hired a civil engineer to prepare civil construction documents for the City to review to ensure that all the lots will be developed per city standards. All utility and drainage issues have been reviewed by city staff and meet the city's requirements.

The City's minimum lot width is sixty feet (60') wide and being at least five thousand (5,000) square foot in area. All Mr. Martinez's lots meet or exceed that requirement, with his smallest lot being 8,037 square feet.

The replat and civil construction plans have been reviewed and approved by city staff and are ready to be heard by the Planning and Zoning Commission for recommendation to the City Council.

This replat is not in conformance with the Land Use Plan adopted on April 10, 2018 by City Council, however because the plat was submitted prior to the approval of the Land Use Plan, the parcel(s) have a vested right.

The case was uploaded into the RCC review tool and those comments (if any) will be presented to the Commission on Tuesday at the meeting.

Public Input:
On Saturday, April 7, 2018 as required by State law, the City mailed out seventeen (17) letters of Notification for a Public Hearing to all property owners within two hundred (200') feet of the subject site. Notice was also published in the City's paper of record, the Fort Worth Star Telegram on Friday, March 30, 2018. We have received the following in favor/opposition to the request:

1. FOR – No forms received.
2. AGAINST – 2 form(s) received. One (1) property owner feels like 14 dwellings will create an additional traffic hazard. One (1) property owner feels that is too many houses all together and doesn't want any commercial.

Fiscal Impact:
N/A

Attachments:

1. Subdivision Application/Waiver of 30 Day Action Form
2. Replat Document and Civil Construction Plans
3. Public Hearing Notice
4. Public Hearing Notifications (within 200' of subject property)
5. Vicinity Map
6. Returned Public Comment Forms

Recommended Motion or Action:

Staff's recommends approval of Agenda Item C.4 as presented.

BUILDING DEVELOPMENT SERVICES
PLANNING & ZONING DIVISION
3805 ADAM GRUBB, LAKE WORTH, TEXAS 76135
817-255-7922 OR SMEASON@LAKEWORTHTX.ORG

FOR OFFICE USE ONLY
Case No: PZ-2018-06
Date Submitted: 1-16-2018

APPLICATION FOR SUBDIVISION PLAT APPROVAL

(CHECK ONE)

____ **PRELIMINARY PLAT** ____ **FINAL PLAT** X **REPLAT** ____ **AMENDING/CORRECTION PLAT**

PROPOSED SUBDIVISION NAME BLOCK 32, LOTS 1R1, 1R2, 2R1, 2R2, 3R, 4R1, 4R2, 9R1, 9R2, 10R, 11R1, 11R2, 12R1, 12R2, INDIAN OAKS SUBDIVISION

CURRENT ZONING CLASSIFICATION SF-1 SINGLE FAMILY RESIDENTIAL

CURRENT LEGAL DESCRIPTION BLOCK 32, LOTS 1-4 AND 9-12, INDIAN OAKS SUBDIVISION

TOTAL ACRES 3.349 **# OF LOTS** 14 **PROPOSED USE** SINGLE FAMILY RESIDENTIAL

APPLICANT/DEVELOPER INFORMATION

NAME FRANCISCO RUBEN MARTINEZ & ARIADNA SALAS
ADDRESS 2924 CADDO TRAIL CITY LAKE WORTH
STATE TEXAS ZIP 76135 EMAIL RUBENMARTINEZ7@AOL.COM
PHONE 817-422-4006 FAX N/A

PROPERTY OWNER INFORMATION

NAME FRANCISCO RUBEN MARTINEZ & ARIADNA SALAS
ADDRESS 2924 CADDO TRAIL CITY LAKE WORTH
STATE TEXAS ZIP 76135 EMAIL RUBENMARTINEZ7@AOL.COM
PHONE 817-422-4006 FAX N/A

SURVEYOR/ARCHITECT/ENGINEER INFORMATION

NAME JGR RIDRIGUEZ ENGINEERING, LLC
ADDRESS 211 HUDSON OAKS DRIVE CITY HUDSON OAKS
STATE TEXAS ZIP 76087 EMAIL JAIME@JGRODRIGUEZENG.COM
PHONE 575-642-1331 FAX N/A

I hereby certify that I am the owner of the property described above and further certify that the information provided on this development application is true and correct. I further understand that the public hearing for this project will not be scheduled until the application fee(s) have been paid and the plans have been reviewed and accepted by City staff. *IF APPLICATION IS SIGNED BY SOMEONE OTHER THAN THE OWNER, THEN AN OWNER AUTHORIZATION FORM MUST BE COMPLETED AND TURNED IN WITH APPLICATION.*

SIGNATURE OF OWNER, AGENT, OR APPLICANT **DATE** 01-16-2018

GENERAL INFORMATION

A plat is intended to serve as the official recorded map of the property to be developed, showing thereon the boundaries, lots, public streets and easements and other significant public facilities and features which are necessary to serve the development. All plats shall conform to the Lake Worth Subdivision and Development Ordinance and Design Criteria and Construction Standards.

Owner signature: The plat application is required to be signed by the **current property owner**. If the property owner is not available to sign the application, then an owner authorization form (City provided) from the property owner is required to be submitted which empowers a designee to sign for the property owner.

Waiver from Section 212.009: The Texas Local Government Code requires that the municipal authority responsible for approving plats must take action on a plat within thirty (30) days of the plat application being accepted. A plat is considered approved by the municipal authority unless it is disapproved within that period. Because thirty (30) days is generally not enough time for a plat to be processed by City Staff and forwarded to the Planning and Zoning Commission and City Council for approval, a waiver of action form must be signed. **If the waiver of action form is not signed and submitted, then it is likely that the plat will be forwarded to the Planning and Zoning Commission with a staff recommendation of denial within thirty (30) days of the application being accepted. The waiver must be signed by the property owner or by the property owner's designee as noted on the owner authorization form.**

Acceptance of plat application: All plat applications will be reviewed for completeness in accordance with this checklist before they are accepted by City Staff. Failure of applicant to provide the required information constitutes grounds for refusal of plat acceptance for processing; or staff recommendation of denial when application is scheduled for consideration.

SUBMITTAL CHECKLIST

The following items must be turned in for the subdivision plat application to be accepted and processed by this department:

- _x_ SUBDIVISION PLAT APPLICATION
- _x_ OWNER AUTHORIZATION FORM (IF APPLICABLE)
- _x_ SIGNED WAIVER OF 30 DAY ACTION FORM
- _x_ APPLICATION FEE (VERIFY WITH P&Z ADMINISTRATOR)
- _x_ FOUR (4) HARD COPIES OF SUBDIVISION PLAT DOCUMENT (SIZE 24 x 36 FOLDED INTO 8½ x 11)
- _x_ ELECTRONIC VERSION (.pdf) OF THE SUBDIVISION PLAT DOCUMENT EMAILED TO SMEASON@LAKEWORTHTX.ORG
- _x_ FOUR (4) HARD COPIES OF CIVIL CONSTRUCTION PLANS (IF APPLICABLE)

OFFICE USE ONLY

Fee: 5,490.00
Date Paid: 1·16·2018
Receipt #: P18-0032
Ownership Verified:
☒ YES ☐ NO
Taxes Paid:
☒ YES ☐ NO
Liens Paid:
☒ YES ☐ NO

Public Hearing Newspaper Notice Deadline Date: 3·30·18
Public Hearing 200' Notification Deadline Date: 4·7·18
P&Z Commission Meeting Date: 4·17·18
City Council Meeting Date: 5·8·18

Plat Approval Date:
Plat File Date:
Instrument #:

DEVELOPMENT SERVICES
PLANNING & ZONING DIVISION
3805 ADAM GRUBB, LAKE WORTH, TEXAS 76135
817-255-7922 OR SMEASON@LAKEWORTHTX.ORG

FOR OFFICE USE ONLY
Case No: PZ-2018-01
Date Submitted: 01-16-2018
Accepted By: S Meason

WAIVER OF 30 DAY ACTION REQUIREMENT FOR PLATTING

(CHECK ONE)

____ **PRELIMINARY PLAT** ____ **FINAL PLAT** x **REPLAT** ____ **AMENDING/CORRECTION PLAT**

PROPOSED SUBDIVISION NAME BLOCK 32, LOTS 1R1, 1R2, 2R1, 2R2, 3R, 4R1, 4R2, 9R1, 9R2, 10R, 11R1, 11R2, 12R1, 12R2, INDIAN OAKS SUBDIVISION

CURRENT LEGAL DESCRIPTION BLOCK 32, LOTS 1-4 AND 9-12, INDIAN OAKS SUBDIVISION

TOTAL ACRES 3.349 **# OF LOTS** 14 **PROPOSED USE** SINGLE FAMILY RESIDENTIAL

PROPERTY OWNER INFORMATION

NAME FRANCISCO RUBEN MARTINEZ & ARIADNA SALAS

ADDRESS 2924 CADDO TRAIL CITY LAKE WORTH

STATE TEXAS ZIP 76135 EMAIL RUBENMARTINEZ7@AOL.COM

PHONE 817-422-4006 FAX N/A

I hereby affirm that I am the owner or an authorized representative of the owner of the property described above which is being submitted for the platting process and I hereby waive my right to have action taken on my plat within the thirty (30) day period as required by section 212.009 of Texas Local Government Code.

IF APPLICATION IS SIGNED BY SOMEONE OTHER THAN THE OWNER, THEN AN OWNER AUTHORIZATION FORM MUST BE COMPLETED AND TURNED IN WITH APPLICATION.

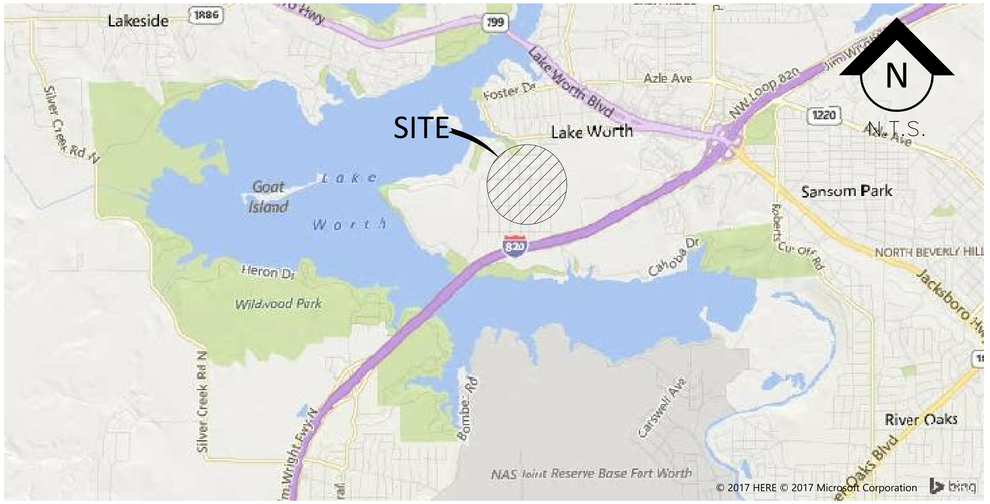
SIGNATURE OF OWNER, AGENT, OR APPLICANT 01-16-2018 **DATE**

CONSTRUCTION PLANS
UTILITY, GRADING & DRAINAGE IMPROVEMENTS

TO SERVE:

INDIAN OAKS REPLAT
LOTS 1R1-4R2 & 9R2-12R2, BLOCK 32

LAKE WORTH, TARRANT COUNTY, TEXAS



LOCATION MAP

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1.00	COVER SHEET
2.00	FINAL PLAT
3.00	GRADING PLAN
4.00	EXISTING DA MAP & CALCS
5.00	PROPOSED DA MAP & CALCS
6.00	WATER LAYOUT
7.00	SANITARY SEWER LAYOUT
8.00	EROSION CONTROL PLAN
9.00	CONSTRUCTION DETAILS 1 OF 3
9.01	CONSTRUCTION DETAILS 2 OF 3
9.02	CONSTRUCTION DETAILS 3 OF 3

OWNER/DEVELOPER
FRANCISCO RUBEN MARTINEZ ARIADNA SALAS 2924 CADDO TRAIL FORT WORTH, TX 76135

MARCH 2018

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JG RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING - HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642-1331
TEXAS REG. FIRM # 18049

STATE OF TEXAS
JAIME G. RODRIGUEZ
117845
LICENSED PROFESSIONAL ENGINEER
Jaime G. Rodriguez
03-23-2018
USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY JAME G. RODRIGUEZ, P.E. TEXAS LICENSE No. 117845

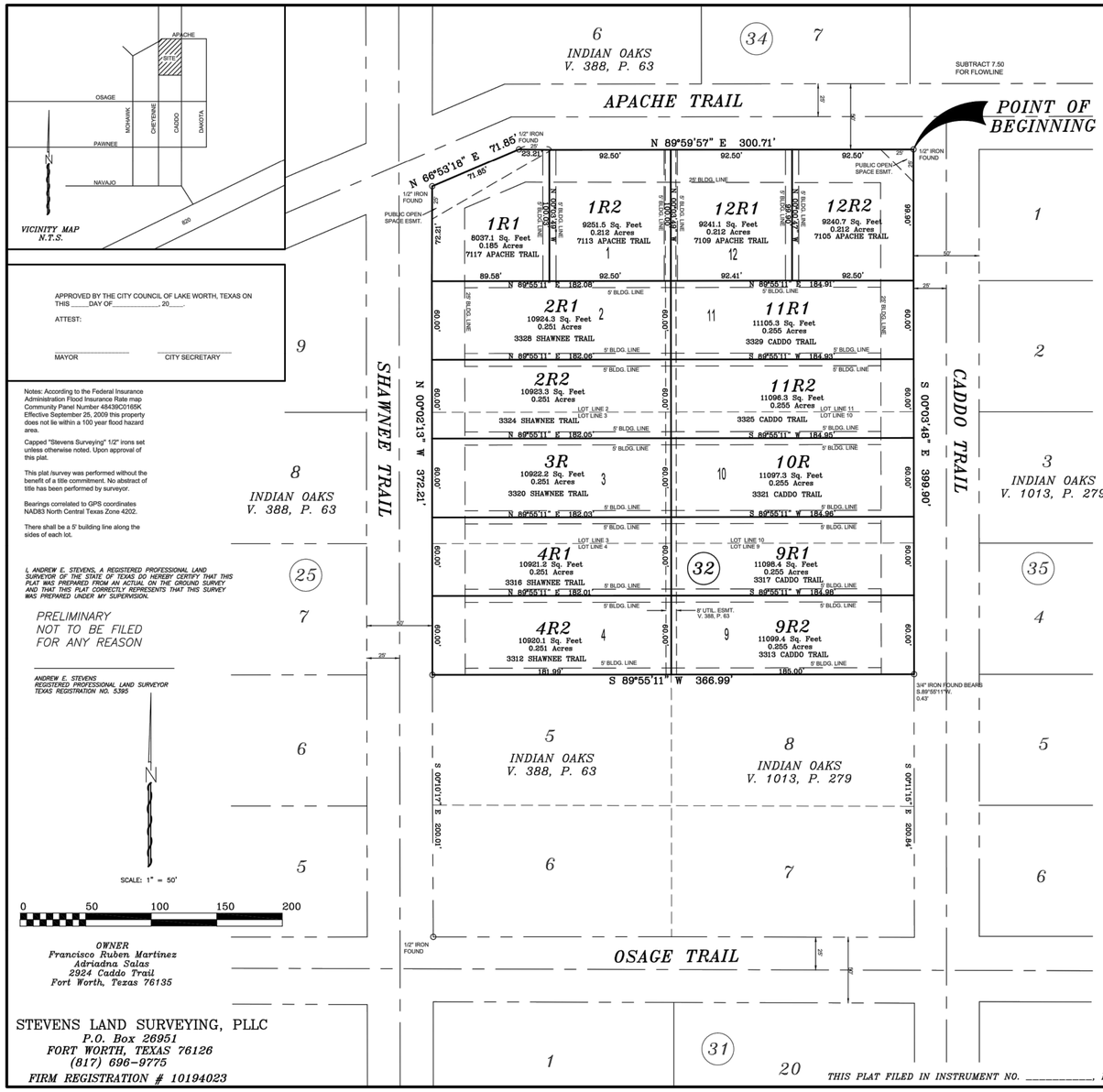
COVER SHEET

INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
1.00

CLIENT #: 107 JOB #: 1711



Notes: According to the Federal Insurance Administration Flood Insurance Rate map Community Panel Number 48439C0165K Effective September 25, 2009 this property does not lie within a 100 year flood hazard area.

Capped "Stevens Surveying" 1/2" irons set unless otherwise noted. Upon approval of this plat.

This plat /survey was performed without the benefit of a title commitment. No abstract of title has been performed by surveyor.

Bearings correlated to GPS coordinates NAD83 North Central Texas Zone 4202.

There shall be a 5' building line along the sides of each lot.

APPROVED BY THE CITY COUNCIL OF LAKE WORTH, TEXAS ON THIS _____DAY OF_____, 20____.

ATTEST:

_____ MAYOR

_____ CITY SECRETARY

I, ANDREW E. STEVENS, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL ON THE GROUND SURVEY AND THAT THIS PLAT CORRECTLY REPRESENTS THAT THIS SURVEY WAS PREPARED UNDER MY SUPERVISION.

PRELIMINARY
NOT TO BE FILED
FOR ANY REASON

_____
ANDREW E. STEVENS
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5395

SCALE: 1" = 50'

0 50 100 150 200

OWNER
Francisco Ruben Martinez
Adriadna Salas
2924 Caddo Trail
Fort Worth, Texas 76135

STEVENS LAND SURVEYING, PLLC
P.O. Box 26951
FORT WORTH, TEXAS 76126
(817) 696-9775
FIRM REGISTRATION # 10194023

STATE OF TEXAS

COUNTY OF TARRANT

KNOW ALL MEN BY THESE PRESENTS THAT, Francisco Ruben Martinez and Ariadna Salas acting by and through the undersigned, it's duly authorized agent, are the owners of the following described real property, to wit:

Being Lots 1-4 and 9-12, Block 32, INDIAN OAKS, an addition to the City of Lake Worth/Fort Worth, Tarrant County, Texas according to the plats recorded in Volume 388, Page 63 and Volume 1013, Page 279, Plat Records, Tarrant County, Texas and being more particularly described, as follows:

Beginning at a 1/2" iron found in the south line of Apache Trail and the west line of Caddo Trail being the northeast corner of said Lot 12;

THENCE SOUTH 00 degrees 03 minutes 48 seconds East, along the west line of said Caddo Trail, 399.90 feet to a capped "Stevens Surveying" 1/2" iron set at the southeast corner of said Lot 9 and the northeast corner of Lot 8 from which a 3/4" iron found bears South 89 degrees 55 minutes 11 seconds West, 0.43 feet;

THENCE South 89 degrees 55 minutes 11 seconds West, along the common line of said Lots 8&9, passing the southwest corner of said Lot 9 and the northwest corner of said Lot 8 and the southeast corner of said Lot 4 and the northeast corner of Lot 5, continuing in all, 366.99 feet to a 1/2" iron set in the east line of Shawnee Trail;

THENCE North 00 degrees 02 minutes 13 seconds West, along the east line of said Shawnee Trail, 372.21 feet to a 1/2" iron found in the south line of said Apache Trail;

THENCE North 66 degrees 53 minutes 18 seconds East, along the south line of said Apache Trail, 71.85 feet to a 1/2" iron found;

THENCE North 89 degrees 59 minutes 57 seconds East, continuing along the south line of said Apache Trail, 300.71 feet to the
POINT OF BEGINNING and containing 3.349 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Francisco Ruben Martinez and Ariadna Salas (owners) acting by and through the undersigned, it's duly authorized agent, do hereby adopt this Plat of the herein described real property, to be designated as...

Lots 1R1-4R2 & 9R2-12R2, Block 32
INDIAN OAKS
City of Lake Worth
Tarrant County, Texas

An addition to the City of Lake Worth, Tarrant County, Texas, and hereby dedicate to the public use forever the easements and rights-of-way as shown hereon.

Executed this the_____day of_____, 20___

_____
Francisco Ruben Martinez

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day appeared personally Francisco Ruben Martinez known to me as the owner of said property whose name is subscribed to the above and foregoing instrument and acknowledged to me that considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of_____, 20____.

_____
Notary Public, Tarrant County, Texas
My Commission Expires

Executed this the_____day of_____, 20___

_____
Ariadna Salas

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day appeared personally Adriadna Salas known to me as the owner of said property whose name is subscribed to the above and foregoing instrument and acknowledged to me that considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of_____, 20____.

_____
Notary Public, Tarrant County, Texas
My Commission Expires

RePlat
Lots 1R1-4R2 & 9R2-12R2, Block 32

INDIAN OAKS

Being a replat of
Lots 1-4 & 9-12, Block 32
INDIAN OAKS,
City of Lake Worth/Fort Worth,
Tarrant County, Texas

Prepared February 2017
3.349 Acres

THIS PLAT FILED IN INSTRUMENT NO. _____, DATE_____

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JGR RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING · HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642-1331
TEXAS REG. FIRM # 18049

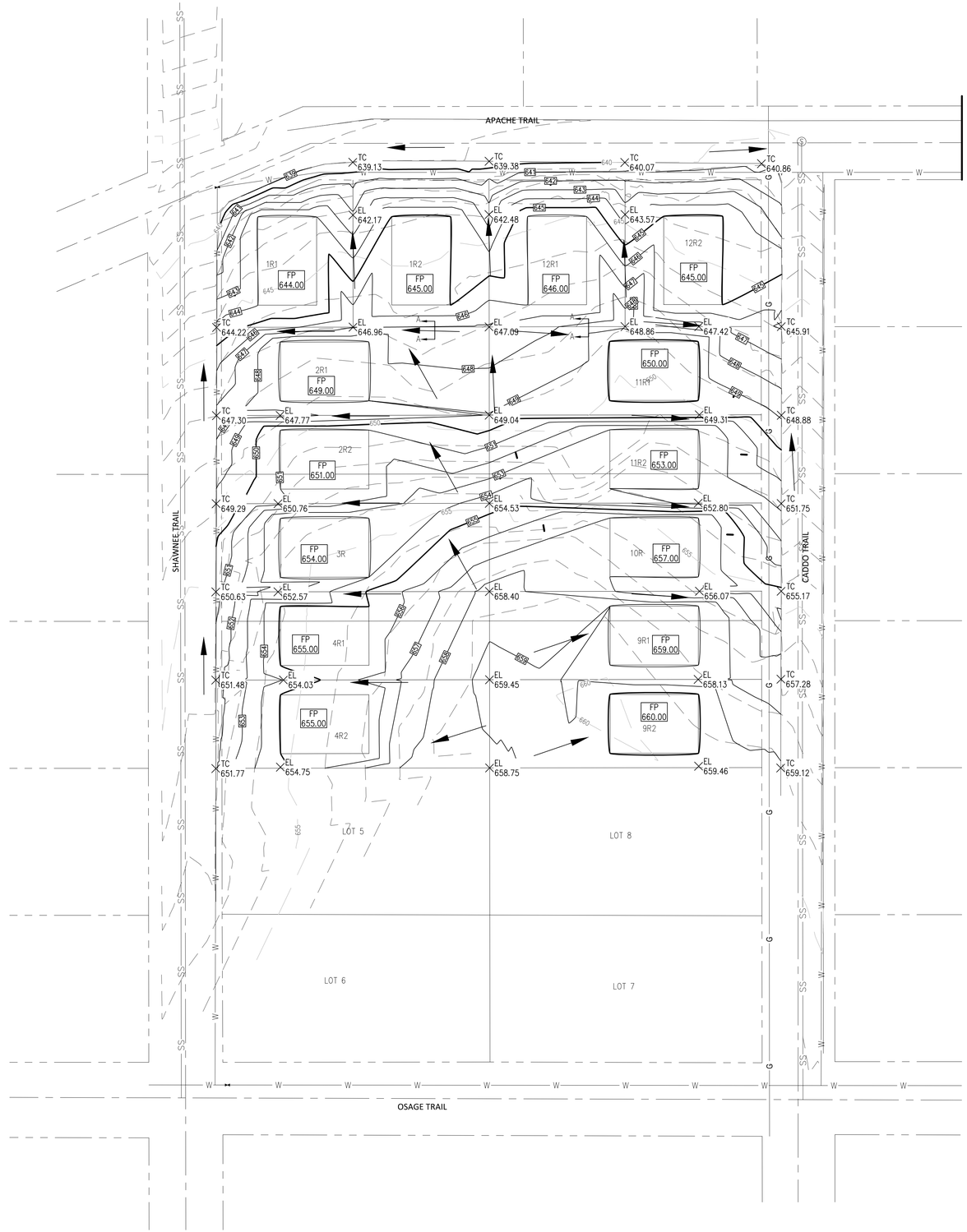
FINAL PLAT

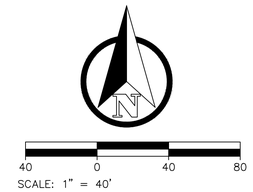
INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
2.00

CLIENT #: 107 JOB #: 1711





***** NOTICE *****

IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND UTILITIES IN THE AREA PRIOR TO CONSTRUCTION ACTIVITIES. CALL BEFORE YOU DIG (811) PRIOR TO CONSTRUCTION. IF CONFLICTS ARE PRESENT BETWEEN EXISTING UTILITIES AND PROPOSED IMPROVEMENTS AS SHOWN, PLEASE NOTIFY ENGINEER.

***** NOTICE *****

ALL GRADING AND EARTHWORK ACTIVITIES SHALL COMPLY WITH THE REQUIREMENTS & RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT OR CITY OF LAKE WORTH CONSTRUCTION STANDARDS.

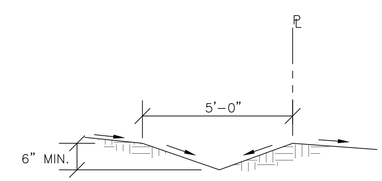
***** NOTICE *****

EXISTING TOPOGRAPHY DATA PROVIDED TO JG RODRIGUEZ ENGINEERING, LLC BY STEVENS LAND SURVEYING, PLLC.

LEGEND	
###	PROPOSED CONTOUR
###	EXISTING CONTOUR
→	FLOW DIRECTION ARROW

NOTES:

1) MAXIMUM ALLOWABLE SLOPE IN ANY AREA SHALL BE 4:1
2) MINIMUM SLOPE ALONG PROPERTY LINES SHALL BE 1%.
3) CONTRACTOR SHALL PROVIDE POSITIVE DRAINGE FOR EACH LOT AWAY FROM HOUSE PAD TO ROW.



DRAINAGE SWALE DETAIL
SECTION "A-A"
N.T.S.

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JG RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING · HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642-1331
TEXAS REG. FIRM # 18049

STATE OF TEXAS
JAIME G. RODRIGUEZ
117845
LICENSED PROFESSIONAL ENGINEER
Jaime G. Rodriguez
03-23-2018

USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY JAIME G. RODRIGUEZ, P.E. TEXAS LICENSE No. 117845

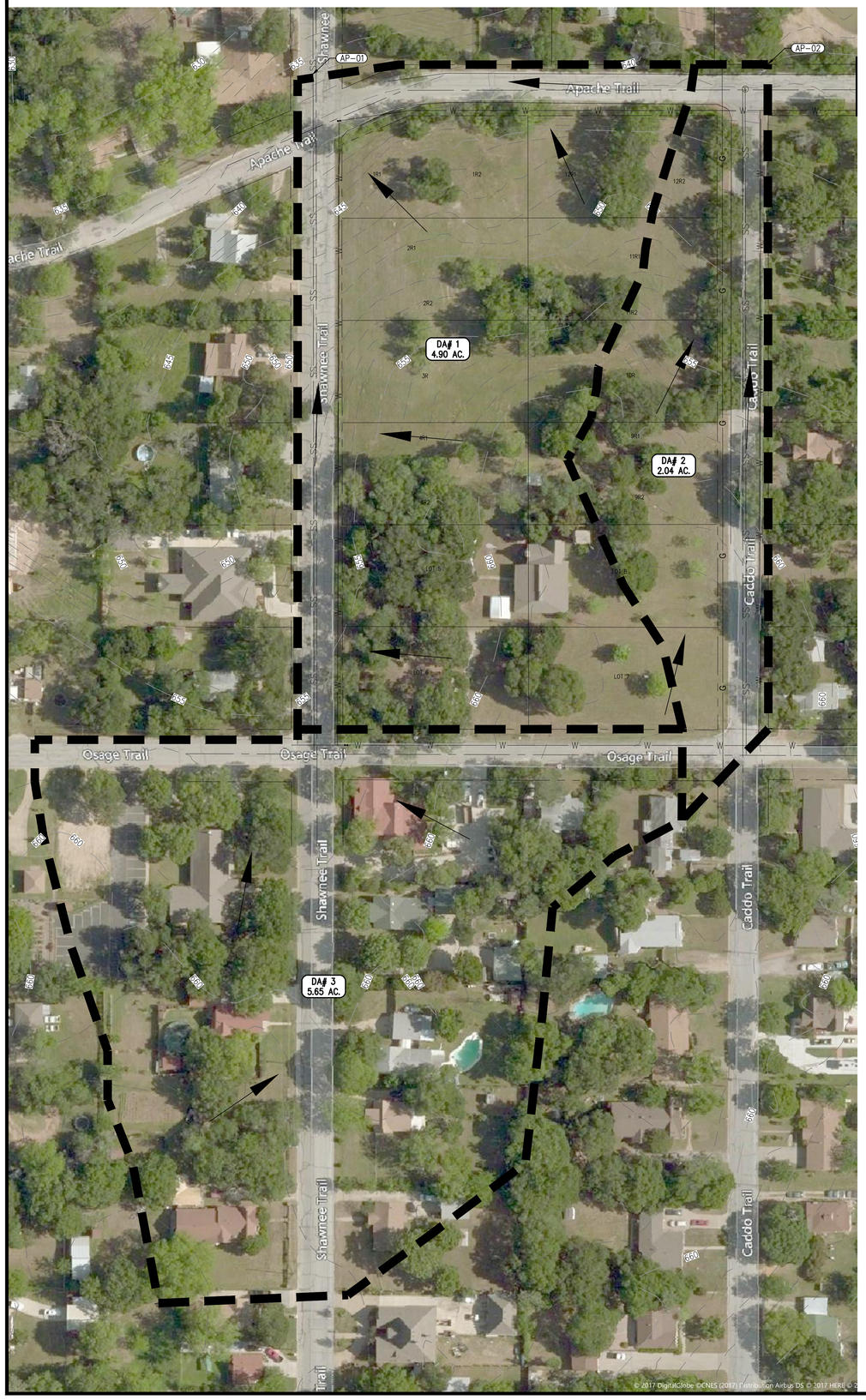
GRADING PLAN

INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
3.00

CLIENT #: 107 JOB #: 1711



N

60 0 60 120

SCALE: 1" = 60'

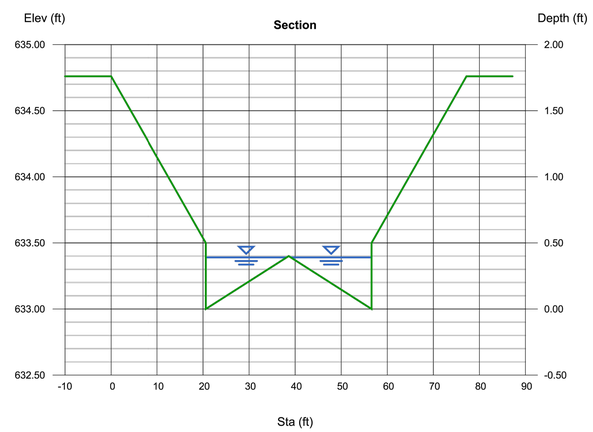
Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Friday, Mar 23 2018

AP-01-PRE

User-defined		Highlighted	
Invert Elev (ft)	= 633.00	Depth (ft)	= 0.39
Slope (%)	= 5.00	Q (cfs)	= 44.00
N-Value	= 0.017	Area (sqft)	= 6.84
		Velocity (ft/s)	= 6.43
Calculations		Wetted Perim (ft)	= 35.89
Compute by:	Known Q	Crit Depth, Yc (ft)	= 0.57
Known Q (cfs)	= 44.00	Top Width (ft)	= 35.10
		EGL (ft)	= 1.03

(Sta, El, n)-(Sta, El, n)...
(0.00, 634.76)-(20.60, 633.50, 0.017)-(20.60, 633.00, 0.017)-(38.60, 633.40, 0.017)-(56.60, 633.00, 0.017)-(56.60, 633.50, 0.017)-(77.20, 634.76, 0.017)



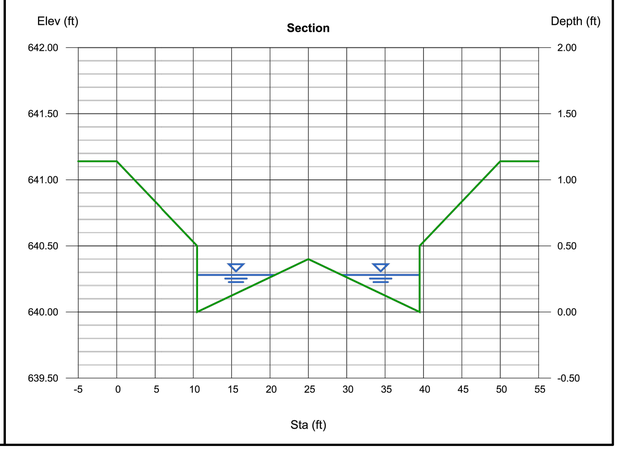
Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Friday, Mar 23 2018

AP-02-PRE

User-defined		Highlighted	
Invert Elev (ft)	= 640.00	Depth (ft)	= 0.28
Slope (%)	= 1.00	Q (cfs)	= 6.000
N-Value	= 0.017	Area (sqft)	= 2.84
		Velocity (ft/s)	= 2.11
Calculations		Wetted Perim (ft)	= 20.87
Compute by:	Known Q	Crit Depth, Yc (ft)	= 0.28
Known Q (cfs)	= 6.00	Top Width (ft)	= 20.30
		EGL (ft)	= 0.35

(Sta, El, n)-(Sta, El, n)...
(0.00, 641.14)-(10.50, 640.50, 0.017)-(10.50, 640.00, 0.017)-(25.00, 640.40, 0.017)-(39.50, 640.00, 0.017)-(39.50, 640.50, 0.017)-(50.00, 641.14, 0.017)



DRAINAGE CALCULATIONS

DRAINAGE AREA	AREA, AC	LAND USE COEFF	TIME OF CONC., MIN	100 YR INTENSITY, IN/HR	100 YR PEAK FLOW, Q, CFS
1	4.90	0.30	15	9.60	14.1
2	2.04	0.30	15	9.60	5.9
3	5.65	0.55	15	9.60	29.8

PRE-DEVELOPMENT

ANALYSIS POINT	CONTRIBUTING DRAINAGE AREAS	100 YR PEAK FLOW, Q, CFS	FLOW DEPTH, FT	DESC
AP-01	1, 3	44	0.39	SHAWNEE TRAIL
AP-02	2	6	0.28	APACHE TRAIL

POST-DEVELOPMENT

ANALYSIS POINT	CONTRIBUTING DRAINAGE AREAS	100 YR PEAK FLOW, Q, CFS	FLOW DEPTH, FT	DESC
AP-01	1, 3	56	0.43	SHAWNEE TRAIL
AP-02	2	11	0.34	APACHE TRAIL

LEGEND

DA # X.XX AC	DRAINAGE AREA LABEL
###	PROPOSED CONTOUR
###	EXISTING CONTOUR
	DRAINAGE AREA BOUNDARY
	FLOW DIRECTION ARROW

***** NOTICE *****

IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND UTILITIES IN THE AREA PRIOR TO CONSTRUCTION ACTIVITIES. CALL BEFORE YOU DIG (811) PRIOR TO CONSTRUCTION. IF CONFLICTS ARE PRESENT BETWEEN EXISTING UTILITIES AND PROPOSED IMPROVEMENTS AS SHOWN, PLEASE NOTIFY ENGINEER.

***** NOTICE *****

ALL GRADING AND EARTHWORK ACTIVITIES SHALL COMPLY WITH THE REQUIREMENTS & RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT.

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JG RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING - HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642-1331
TEXAS REG. FIRM # 18049

STATE OF TEXAS
JAIME G. RODRIGUEZ
117845
LICENSED PROFESSIONAL ENGINEER
03-23-2018

USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY JAIME G. RODRIGUEZ, P.E. TEXAS LICENSE No. 117845

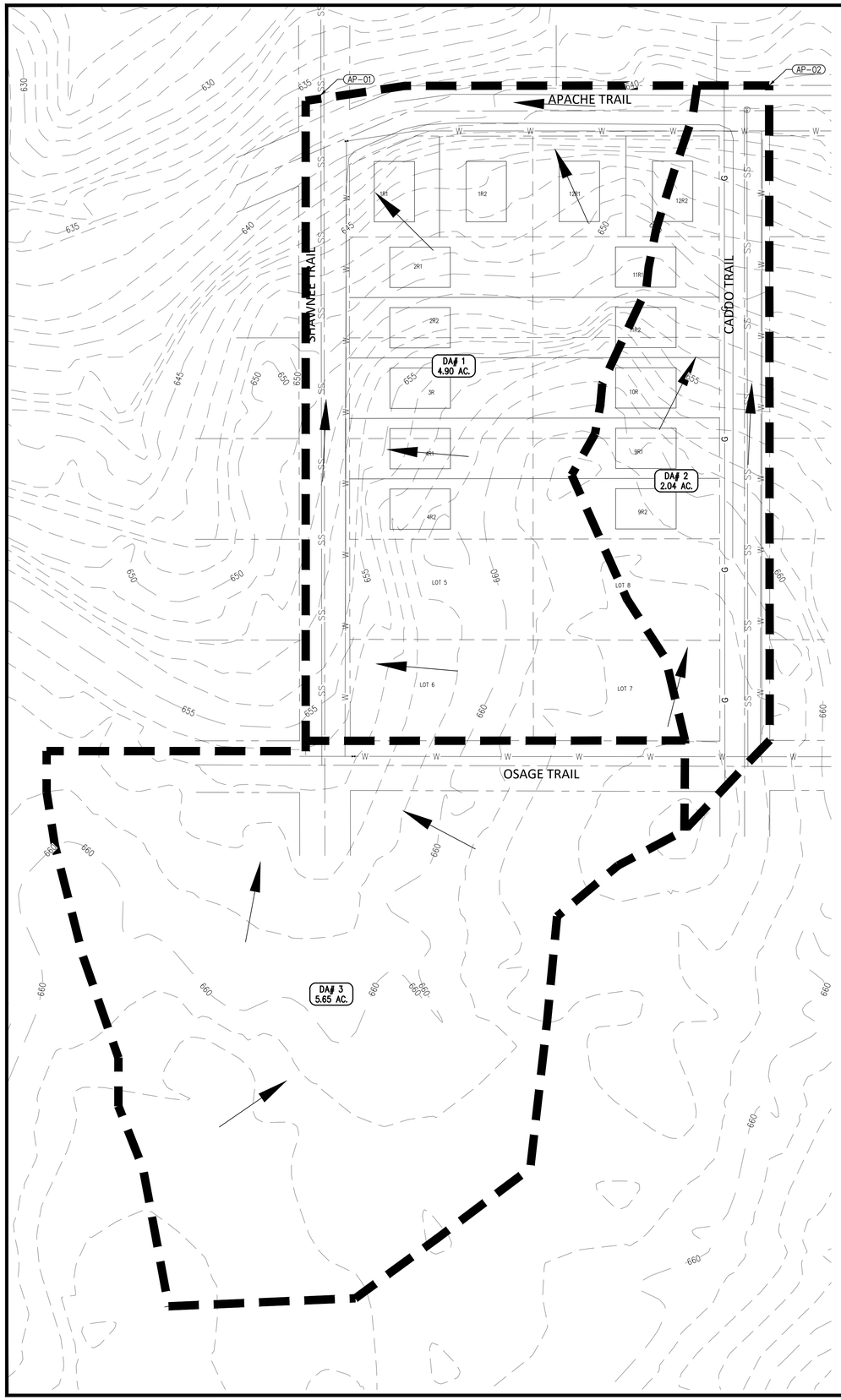
EXISTING DA MAP & CALCS

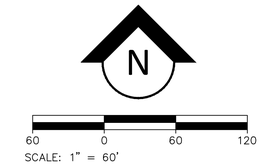
INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
4.00

CLIENT #: 107 JOB #: 1711





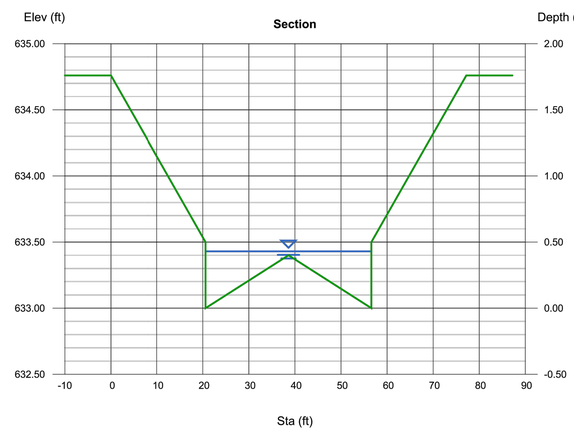
Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Friday, Mar 23 2018

AP-01-POST

User-defined		Highlighted	
Invert Elev (ft)	= 633.00	Depth (ft)	= 0.43
Slope (%)	= 5.00	Q (cfs)	= 56.00
N-Value	= 0.017	Area (sqft)	= 8.28
		Velocity (ft/s)	= 6.76
Calculations		Wetted Perim (ft)	= 36.87
Compute by:	Known Q	Crit Depth, Yc (ft)	= 0.64
Known Q (cfs)	= 56.00	Top Width (ft)	= 36.00
		EGL (ft)	= 1.14

(Sta, El, n)-(Sta, El, n)...
(0.00, 634.76)-(20.60, 633.50, 0.017)-(20.60, 633.00, 0.017)-(38.60, 633.40, 0.017)-(56.60, 633.00, 0.017)-(56.60, 633.50, 0.017)-(77.20, 634.76, 0.017)



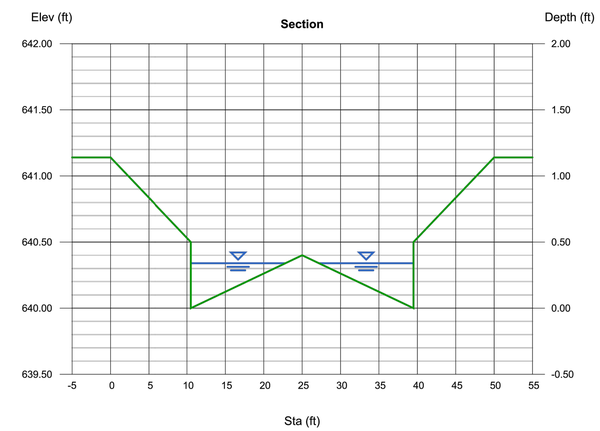
Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc. Friday, Mar 23 2018

AP-02-POST

User-defined		Highlighted	
Invert Elev (ft)	= 640.00	Depth (ft)	= 0.34
Slope (%)	= 1.00	Q (cfs)	= 11.00
N-Value	= 0.017	Area (sqft)	= 4.19
		Velocity (ft/s)	= 2.62
Calculations		Wetted Perim (ft)	= 25.34
Compute by:	Known Q	Crit Depth, Yc (ft)	= 0.36
Known Q (cfs)	= 11.00	Top Width (ft)	= 24.65
		EGL (ft)	= 0.45

(Sta, El, n)-(Sta, El, n)...
(0.00, 641.14)-(10.50, 640.50, 0.017)-(10.50, 640.00, 0.017)-(25.00, 640.40, 0.017)-(39.50, 640.00, 0.017)-(39.50, 640.50, 0.017)-(50.00, 641.14, 0.017)



DRAINAGE CALCULATIONS

DRAINAGE AREA	AREA, AC	LAND USE COEFF	TIME OF CONC., MIN	100 YR INTENSITY, IN/HR	100 YR PEAK FLOW, Q, CFS
1	4.90	0.55	15	9.60	25.9
2	2.04	0.55	15	9.60	10.8
3	5.65	0.55	15	9.60	29.8

PRE-DEVELOPMENT

ANALYSIS POINT	CONTRIBUTING DRAINAGE AREAS	100 YR PEAK FLOW, Q, CFS	FLOW DEPTH, FT	DESC
AP-01	1, 3	44	0.39	SHAWNEE TRAIL
AP-02	2	6	0.28	APACHE TRAIL

POST-DEVELOPMENT

ANALYSIS POINT	CONTRIBUTING DRAINAGE AREAS	100 YR PEAK FLOW, Q, CFS	FLOW DEPTH, FT	DESC
AP-01	1, 3	56	0.43	SHAWNEE TRAIL
AP-02	2	11	0.34	APACHE TRAIL

LEGEND

DA # X.XX AC	DRAINAGE AREA LABEL
###	PROPOSED CONTOUR
###	EXISTING CONTOUR
	DRAINAGE AREA BOUNDARY
	FLOW DIRECTION ARROW

***** NOTICE *****

IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND UTILITIES IN THE AREA PRIOR TO CONSTRUCTION ACTIVITIES. CALL BEFORE YOU DIG (811) PRIOR TO CONSTRUCTION. IF CONFLICTS ARE PRESENT BETWEEN EXISTING UTILITIES AND PROPOSED IMPROVEMENTS AS SHOWN, PLEASE NOTIFY ENGINEER.

***** NOTICE *****

ALL GRADING AND EARTHWORK ACTIVITIES SHALL COMPLY WITH THE REQUIREMENTS & RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT.

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JG RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING · HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642-1331
TEXAS REG. FIRM # 18049

STATE OF TEXAS
JAIME G. RODRIGUEZ
117845
LICENSED PROFESSIONAL ENGINEER
03-23-2018

USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY JAIME G. RODRIGUEZ, P.E. TEXAS LICENSE No. 117845

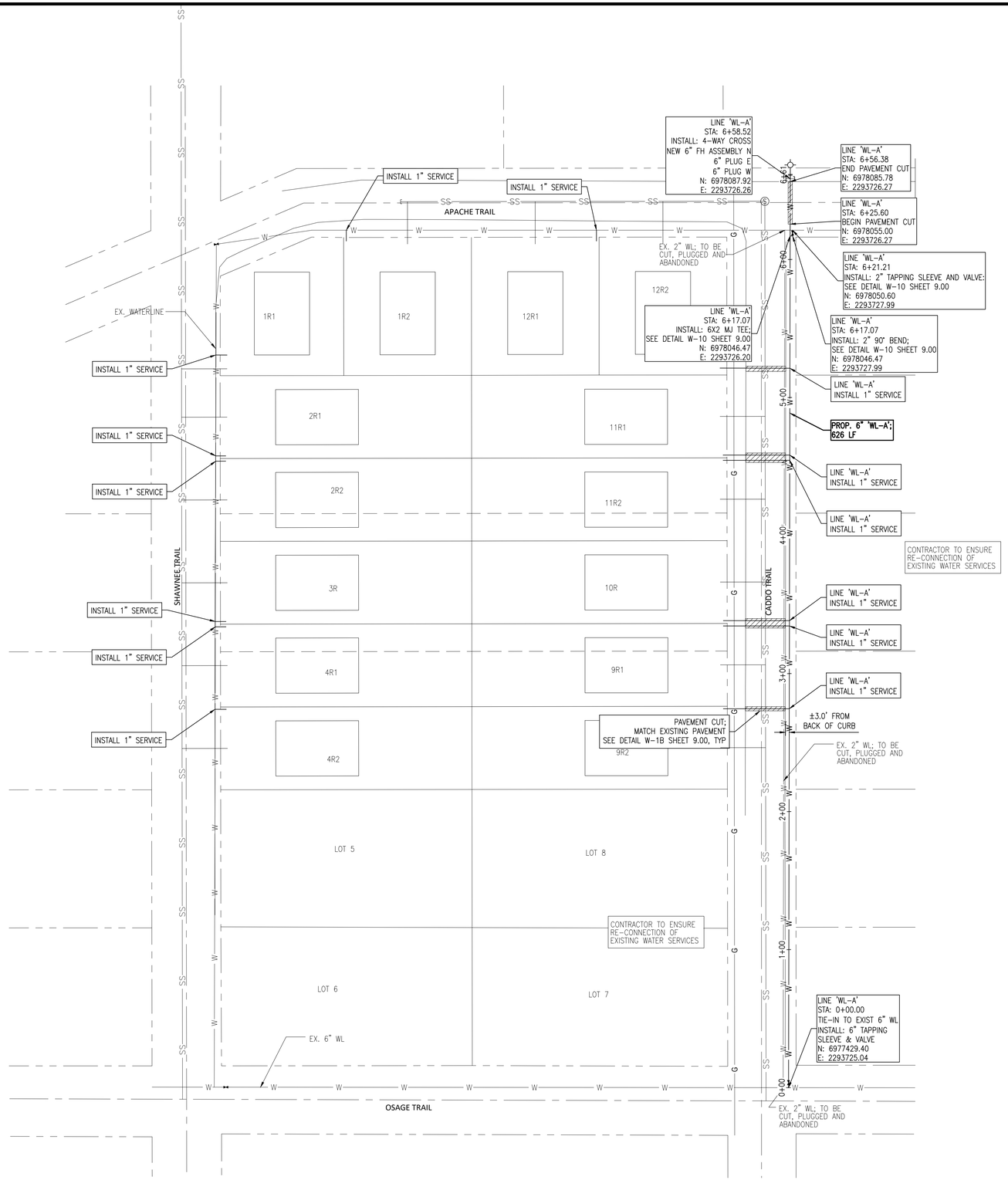
PROPOSED DA MAP & CALCS

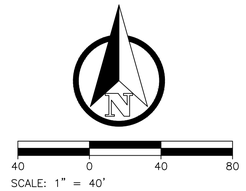
INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
5.00

CLIENT #: 107 JOB #: 1711





GENERAL NOTES:

1. EXISTING WATER SERVICE CONNECTIONS IN CADDO TRAIL SHALL BE RE-CONNECTED TO PROPOSED 6" WATER LINE.
2. MAIN SHALL BE CLASS 150, DR 18.
3. REFER TO CONSTRUCTION DETAIL SHEETS FOR CONSTRUCTION DETAILS AND ADDITIONAL GENERAL NOTES.
4. OPEN TRENCH PAVEMENT REPAIR SHALL MATCH EXISTING PAVEMENT CROSS-SECTION, SEE DETAIL W-1A & W-1B SHEET 9.00.
5. WATER LINES SHALL MAINTAIN A MINIMUM COVER OF 42 INCHES.
6. WATER LINE CONSTRUCTION SHALL ADHERE TO CITY OF LAKE WORTH CONSTRUCTION STANDARDS AND LATEST NCTCOG SPECIFICATIONS.
7. CONTRACTOR TO FIELD VERIFY PROPOSED LOCATION OF 6" WATERLINE PRIOR TO CONSTRUCTION AND COORDINATE WITH HOMEOWNERS ON EXISTING TREE CONFLICTS.

***** NOTICE *****

IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND UTILITIES IN THE AREA PRIOR TO CONSTRUCTION ACTIVITIES. CALL DIG-TESS (811) PRIOR TO CONSTRUCTION. IF CONFLICTS ARE PRESENT BETWEEN EXISTING UTILITIES AND PROPOSED IMPROVEMENTS AS SHOWN, PLEASE NOTIFY ENGINEER.

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JG RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING - HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642-1331
TEXAS REG. FIRM # 18049

STATE OF TEXAS
JAIME G. RODRIGUEZ
117845
LICENSED
PROFESSIONAL ENGINEER
03-23-2018

USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY JAIME G. RODRIGUEZ, P.E. TEXAS LICENSE No. 117845

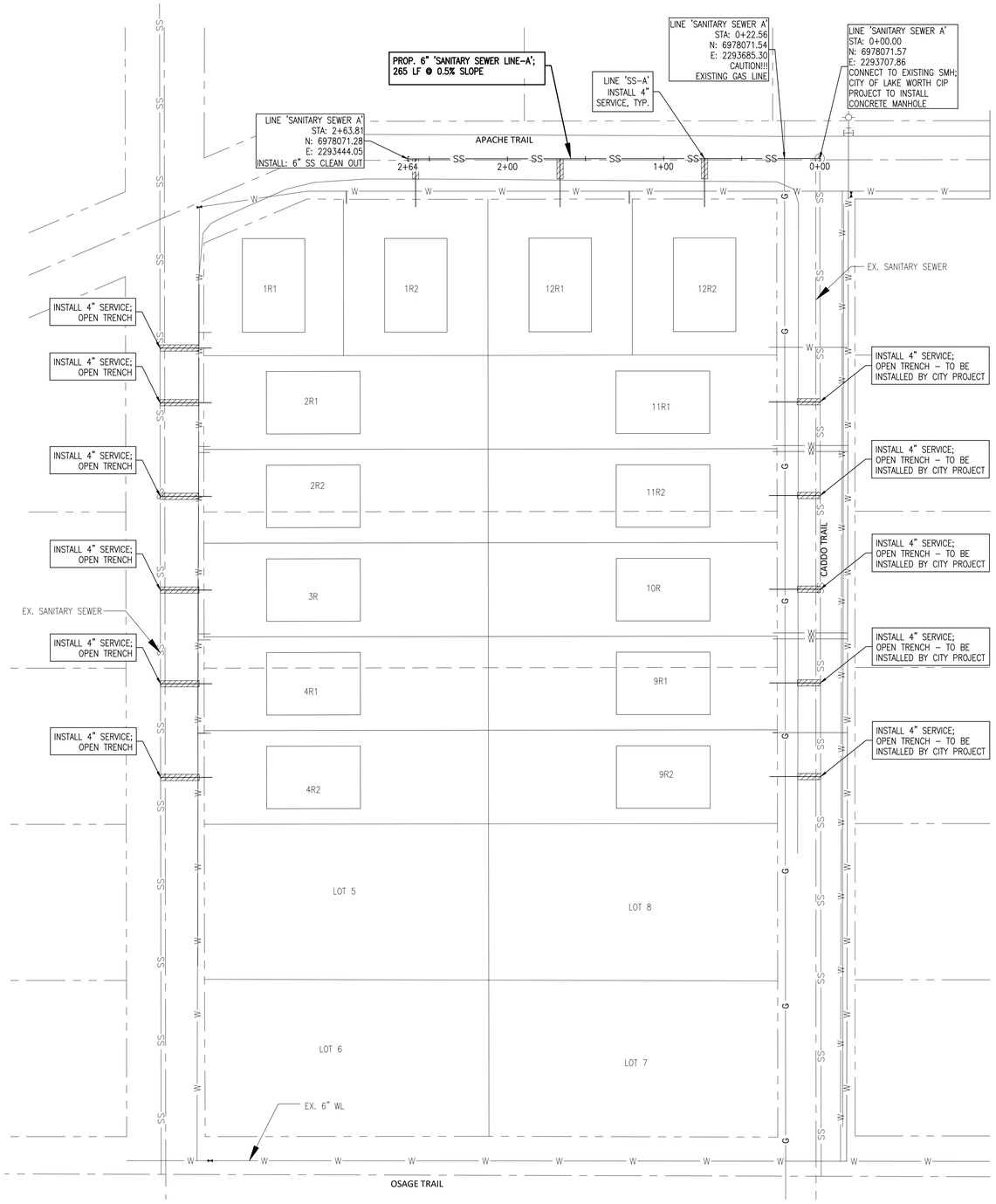
WATER LAYOUT

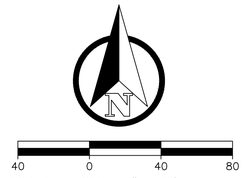
INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

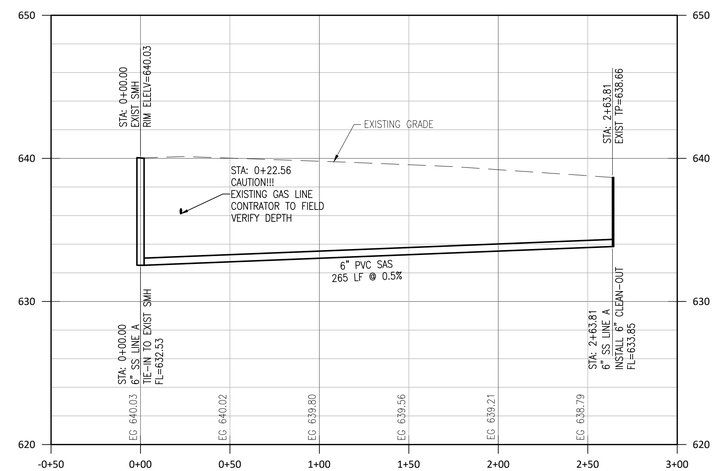
DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
6.00

CLIENT #: 107 JOB #: 1711







SANITARY SEWER A

GENERAL NOTES:

1. REFER TO CONSTRUCTION DETAIL SHEETS FOR CONSTRUCTION DETAILS AND ADDITIONAL GENERAL NOTES.
2. OPEN TRENCH PAVEMENT REPAIR SHALL MATCH EXISTING PAVEMENT CROSS-SECTION, SEE DETAIL S1-B, SHEET 9.01.
3. SANITARY SEWER LINES SHALL MAINTAIN A MINIMUM COVER OF 48 INCHES.
4. SANITARY SEWER PIPE SHALL BE TYPE SDR-35.
5. SANITARY SEWER CONSTRUCTION SHALL ADHERE TO CITY OF LAKE WORTH CONSTRUCTION STANDARDS AND LATEST NCTCOG SPECIFICATIONS.

***** NOTICE *****

IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND UTILITIES IN THE AREA PRIOR TO CONSTRUCTION ACTIVITIES. CALL DIG-TESS (811) PRIOR TO CONSTRUCTION. IF CONFLICTS ARE PRESENT BETWEEN EXISTING UTILITIES AND PROPOSED IMPROVEMENTS AS SHOWN, PLEASE NOTIFY ENGINEER.

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JG RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING - HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642-1331
TEXAS REG. FIRM # 18049

STATE OF TEXAS
JAIME G. RODRIGUEZ
117845
LICENSED PROFESSIONAL ENGINEER
Jaime G. Rodriguez
03-23-2018

USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY JAIME G. RODRIGUEZ, P.E. TEXAS LICENSE No. 117845

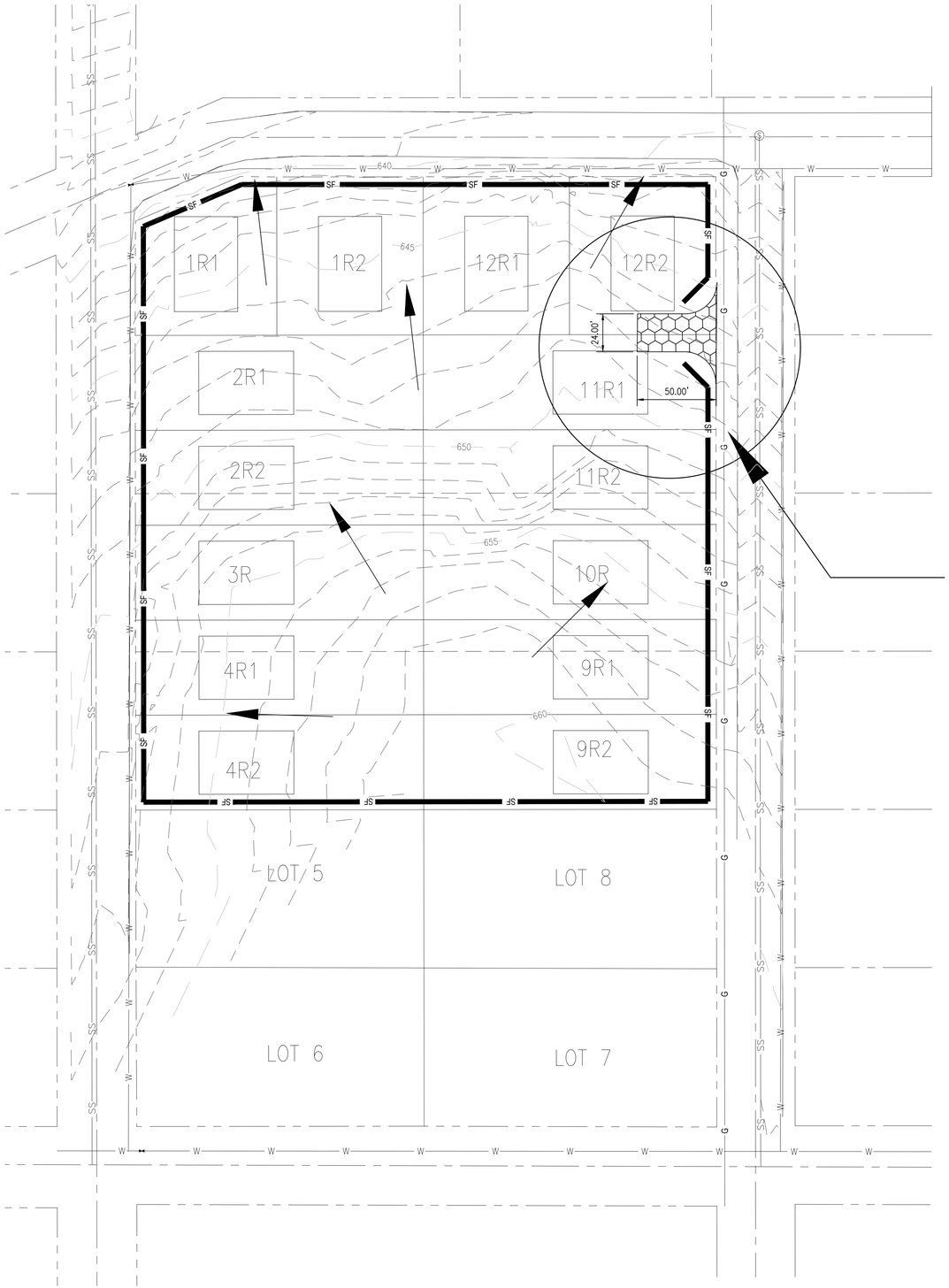
SANITARY SEWER LAYOUT

INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

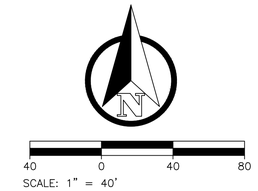
DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
7.00

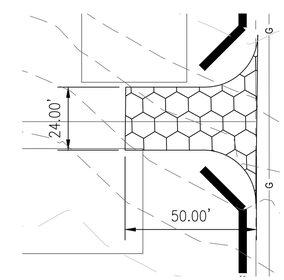
CLIENT #: 107 JOB #: 1711



SEE DETAIL "A"



LEGEND	
	PROPOSED CONTOUR
	EXISTING CONTOUR
SF	SILT FENCE
	CONSTRUCTION ENTRANCE
	FLOW DIRECTION ARROW



DETAIL "A"
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

GENERAL NOTES:

1. SEE SHEET 9.02 – CONSTRUCTION DETAILS 3 OF 3 FOR EROSION CONTROL DETAILS.
2. SILT FENCE SHOWN HEREON IS LOCATED FIVE (5) FEET INSIDE THE PROPERTY LINE & AROUND THE UPSTREAM SIDE OF THE CULVERT END TREATMENTS AND SHALL BE INSTALLED PRIOR TO ANY EARTHWORK ACTIVITIES.
3. EROSION CONTROL BMPs SHOWN HEREON SHALL BE INSTALLED IMMEDIATELY FOLLOWING GRADING ACTIVITIES IN DISTURBED AREAS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL TCEQ PERMITS & REQUIREMENTS REGARDING EROSION CONTROL.

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JG RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING - HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642-1331
TEXAS REG. FIRM # 18049

STATE OF TEXAS
JAIME G. RODRIGUEZ
117845
LICENSED
PROFESSIONAL ENGINEER
03-23-2018

USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY JAIME G. RODRIGUEZ, P.E. TEXAS LICENSE No. 117845

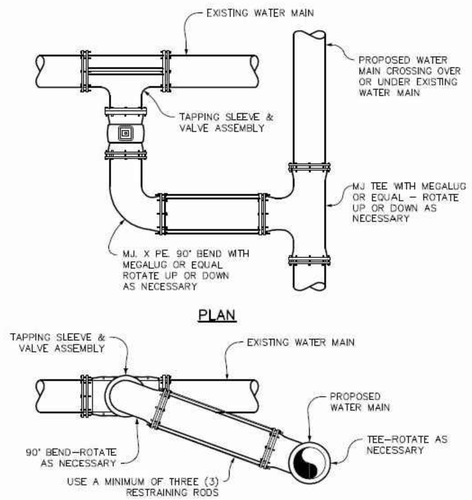
EROSION CONTROL PLAN

INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
8.00

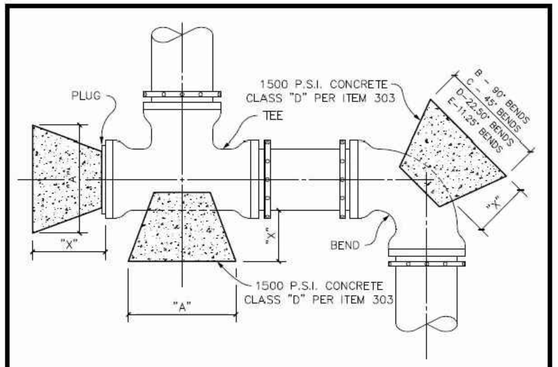
CLIENT #: 107 JOB #: 1711



NOTES:

1. WRAP ALL BELOW GROUND ASSEMBLIES IN POLYETHYLENE ACCORDING TO AWWA C105.
2. THE DIAMETER OF THE CONNECTING PIPE BETWEEN THE PROPOSED AND EXISTING WATER MAINS SHALL HAVE A DIAMETER EQUAL TO THE SMALLER OF THE TWO MAINS TO BE CONNECTED THROUGH THE PROPOSED RING CONNECTION.

City of Lake Worth Texas	WATER SYSTEM CONSTRUCTION DETAILS TYPICAL RING CONNECTION	REVISED MAY 2006 SCALE: N.T.S. SHEET: W–10



HORIZONTAL BLOCKING TABLE

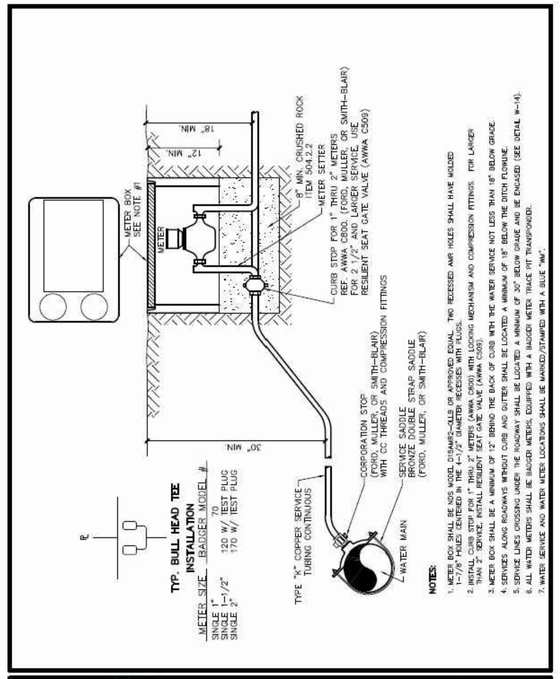
DIMENSION "X" TO BE A MINIMUM OF (1) FOOT, BUT IS TO BE INCREASED WHERE NECESSARY TO PROVIDE BEARING AGAINST UNDISTURBED TRENCH WALL.

PIPE SIZE	"X" DIM.	PLUGS & TEES "A"	PLUGS & TEES MIN. AREA sf	90° BENDS "B"	90° BENDS MIN. AREA sf	45° BENDS "C"	45° BENDS MIN. AREA sf	22.50° BENDS "D"	22.50° BENDS MIN. AREA sf	11.25° BENDS "E"	11.25° BENDS MIN. AREA sf
6"	1'–6"	1'–0"	1.06	1'–2"	1.50	1'–0"	.83	1'–0"	.83	1'–0"	.83
8"	1'–6"	1'–3"	1.89	1'–6"	2.66	1'–3"	1.44	1'–0"	.83	1'–0"	.83
10"	1'–6"	1'–9"	2.95	2'–0"	4.17	1'–6"	2.26	1'–3"	1.15	1'–0"	.83
12"	1'–6"	2'–0"	4.25	2'–3"	6.00	1'–9"	3.25	1'–3"	1.65	1'–0"	.83
16"	2'–0"	2'–7"	7.54	3'–0"	10.65	2'–3"	5.76	1'–8"	2.94	1'–2"	1.48

NOTES:

1. BEARING AREAS SHOWN ARE BASED ON 150 PSI TEST PRESSURE AND 3000 PSF ALLOWABLE SOIL BEARING PRESSURE.
2. WRAP ALL BELOW GROUND IRON ASSEMBLIES IN POLYETHYLENE ACCORDING TO AWWA C105.
3. ALL TEES, BENDS, PLUGS, ETC. SHALL BE MECHANICALLY RESTRAINED BY MEGALUG OR APPROVED EQUAL.

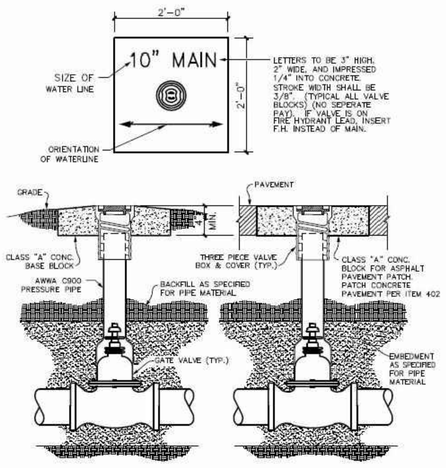
City of Lake Worth Texas	WATER SYSTEM CONSTRUCTION DETAILS HORIZONTAL AND VERTICAL (DOWNWARD) THRUST BLOCKING	REVISED MAY 2006 SCALE: N.T.S. SHEET: W–7



NOTES:

1. METER BOX SHALL BE NDS WOOD, DYNAMO–GLB (OR APPROVED EQUAL, TWO RECESSED AIR HOLES SHALL HAVE MOLDED 1–7/8" HOLES CENTERED IN THE 1–1/2" DIAMETER RECESSES WITH PLUGS.
2. INSTALL CURB STOP FOR 1" THRU 2" METERS (AWWA C800) WITH LOCKING MECHANISM AND COMPRESSION FITTINGS. FOR LARGER METERS USE FORD, MULLER, OR SMITH–BLAIR EQUIVALENT WITH MANUFACTURER'S RECOMMENDED FITTINGS.
3. METER BOX SHALL BE A MINIMUM OF 12" BEHIND THE BACK OF CURB WITH THE WATER SERVICE NOT LESS THAN 18" BELOW GRADE.
4. SERVICES ALONG ROADWAYS WITHOUT CURB AND GUTTER SHALL BE LOCATED A MINIMUM OF 18" BELOW THE DITCH FLOWLINE.
5. SERVICE LINES CROSSING UNDER THE ROADWAY SHALL BE LOCATED A MINIMUM OF 30" BELOW GRADE AND BE ENCASED (SEE DETAIL W–14).
6. ALL WATER METERS SHALL BE BADGER METERS, EQUIPPED WITH A BADGER METER TRACE PIT TRANSPONDER.
7. WATER SERVICE AND WATER METER LOCATIONS SHALL BE MARKED/STAMPED WITH A BLUE "WM".

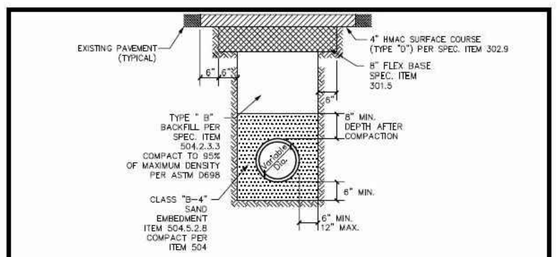
City of Lake Worth Texas	WATER SYSTEM CONSTRUCTION DETAILS 1"–2" WATER SERVICE ASSEMBLY	REVISED MAY 2006 SCALE: 1" = 1' SHEET: W–5



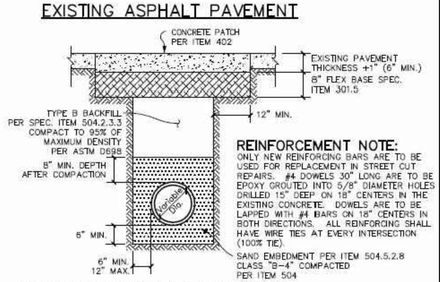
NOTES:

1. THE VALVE AND JOINT ASSEMBLIES SHALL BE WRAPPED IN POLYETHYLENE ACCORDING TO AWWA C105.
2. THE JOINT TYPE SHALL BE MECHANICAL JOINT UNLESS OTHERWISE SPECIFIED IN THE PLANS.
3. VALVE BOX SHALL BE TYLER PIPE 6850 SERIES OR APPROVED EQUAL.
4. GATE VALVE SHALL BE RESILIENT SEAT TYPE WITH A NON RISING STEM AND A 2–INCH SQUARE OPERATOR. RESILIENT SEAT GATE VALVE SHALL CONFORM TO AWWA C509.
5. A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE WITH AN OPERATING NUT LOCATED IN EXCESS OF 4 FEET BELOW THE TOP OF VALVE BOX. THIS EXTENSION SHALL BE SUFFICIENT LENGTH TO ENSURE THAT ITS TOP IS WITHIN 4 FEET OF VALVE BOX LID.
6. 16" AND LARGER GATE VALVES REQUIRE CONCRETE BLOCK UNDER THE VALVE BODY.
7. ALL VALVE COVERS SHALL BE PAINTED BLUE.
8. A "V" SHALL BE SAW CUT IN THE CURB AT ALL VALVE LOCATIONS AND PAINTED BLUE.
9. REFERENCE DESIGN CRITERIA FOR ALLOWABLE GATE VALVE MANUFACTURERS.

City of Lake Worth Texas	WATER SYSTEM CONSTRUCTION DETAILS GATE VALVE INSTALLATION	REVISED MAY 2006 SCALE: 3/4" = 1' SHEET: W–3



EXISTING ASPHALT PAVEMENT



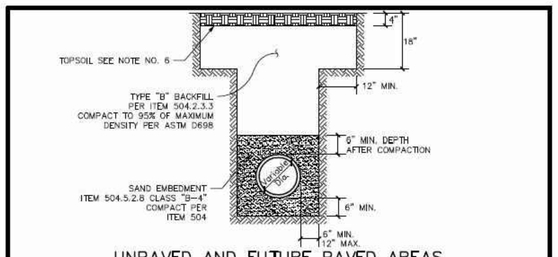
REINFORCEMENT NOTE:
ONLY NEW REINFORCING BARS ARE TO BE USED FOR REPLACEMENT IN STREET CUT REPAIRS. #4 DOWELS 30" LONG ARE TO BE EPOXY GROUTED INTO 5/8" DIAMETER HOLES DRILLED 15" DEEP ON 18" CENTERS IN THE EXISTING CONCRETE. DOWELS ARE TO BE LAPPED WITH #4 BARS ON 18" CENTERS IN BOTH DIRECTIONS. ALL REINFORCING SHALL HAVE WIRE TIES AT EVERY INTERSECTION (100% TIE).
SAND EMBEDMENT PER ITEM 504.5.2.8 CLASS "B–4" COMPACTED PER ITEM 504

EXISTING CONCRETE PAVEMENT

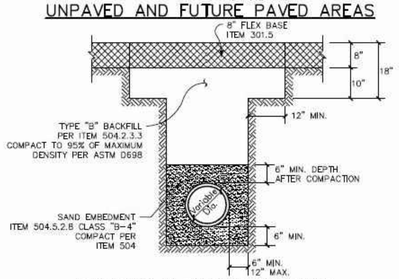
NOTES:

1. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY & TXDOT R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE OWNER TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
2. ALL BACKFILL SHALL BE PER SPEC. ITEM 504 AND SHALL BE COMPACTED PER SPEC ITEM 504. ROCKS GREATER THAN 4" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
3. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC ITEM 402.3.
4. COATED TRACER WIRE (MIN. 10–GAUGE) SHALL BE INSTALLED IN THE EMBEDMENT MATERIAL ABOVE THE PVC PIPE WITH THE TRACER WIRE TERMINATING IN IN–LINE GATE VALVE BOXES ACCESSIBLE BY CITY STAFF. BLUE UNDERGROUND WATER LINE WARNING TAPE OF MIN. 4" WIDTH SHALL BE INSTALLED ABOVE THE EMBEDMENT MATERIAL
5. A MAXIMUM OF 200–FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY ENGINEER.

City of Lake Worth Texas	WATER SYSTEM CONSTRUCTION DETAILS STANDARD WATER LINE EMBEDMENT AND BACKFILL	REVISED MAY 2006 SCALE: 1/2" = 1' SHEET: W–1B



UNPAVED AND FUTURE PAVED AREAS



NOTES:

1. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY & TXDOT R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE OWNER TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
2. ALL BACKFILL SHALL BE PER SPEC. ITEM 504 AND SHALL BE COMPACTED PER SPEC ITEM 504. ROCKS GREATER THAN 4" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
3. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC ITEM 402.3.
4. COATED TRACER WIRE (MIN. 10–GAUGE) SHALL BE INSTALLED IN THE EMBEDMENT MATERIAL ABOVE THE PVC PIPE WITH THE TRACER WIRE TERMINATING IN IN–LINE GATE VALVE BOXES ACCESSIBLE BY CITY STAFF. BLUE UNDERGROUND WATER LINE WARNING TAPE OF MIN. 4" WIDTH SHALL BE INSTALLED ABOVE THE EMBEDMENT MATERIAL.
5. A MAXIMUM OF 200–FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY ENGINEER.
6. TOPSOIL SHALL BE 4 INCHES IN DEPTH AND SHALL BE LOOSE AND FREE OF ROCKS OR CLODS GREATER THAN 1/4" IN DIAMETER. ALL TOPSOIL SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.

EXISTING FLEXBASE SURFACE

City of Lake Worth Texas	WATER SYSTEM CONSTRUCTION DETAILS STANDARD WATER LINE EMBEDMENT AND BACKFILL	REVISED MAY 2006 SCALE: 1/2" = 1' SHEET: W–1A

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JG RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING · HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642–1331
TEXAS REG. FIRM # 18049

STATE OF TEXAS
JAIME G. RODRIGUEZ
117845
LICENSED PROFESSIONAL ENGINEER
Jaime G. Rodriguez
03-23-2018
USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY JAIME G. RODRIGUEZ, P.E. TEXAS LICENSE No. 117845

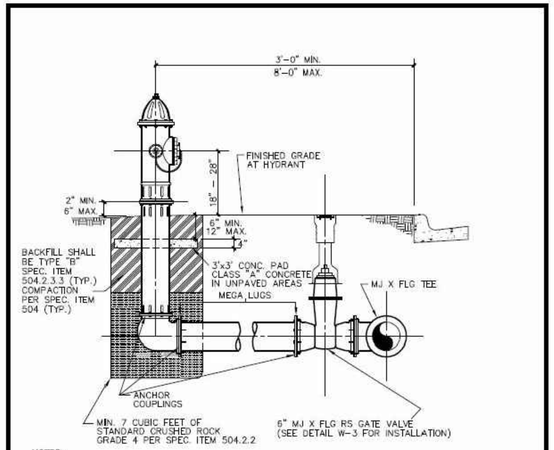
CONSTRUCTION DETAILS 1 OF 3

INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
9.00

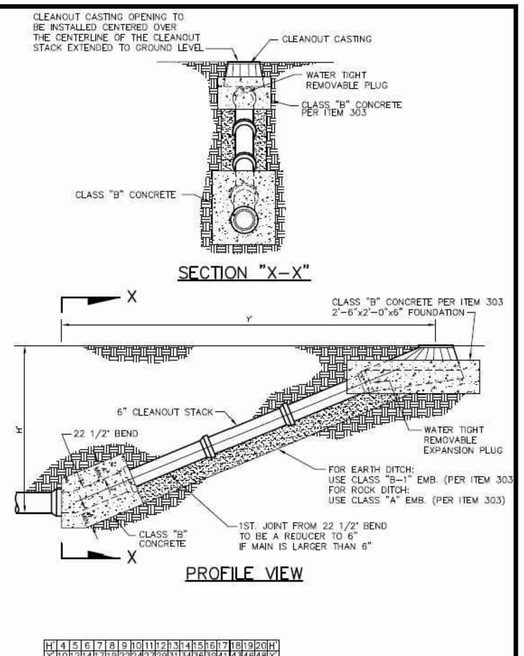
CLIENT #: 107 JOB #: 1711



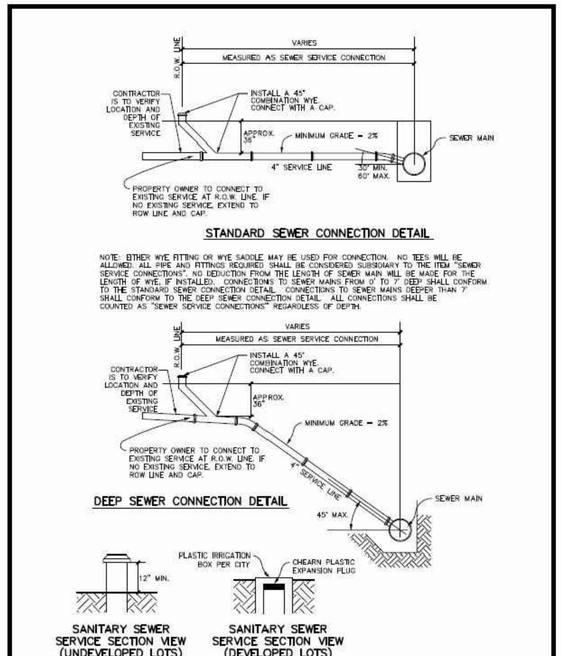
NOTES:

1. ALL FIRE HYDRANTS SHALL CONFORM TO AWWA STANDARD SPECIFICATIONS FOR FIRE HYDRANTS, C-502. FIRE HYDRANTS SHALL HAVE A 5 1/4" MIN. VALVE OPENING AND AN INSIDE BARREL DIAMETER OF APPROXIMATELY 7". ALL HYDRANTS SHALL BE EQUIPPED WITH A BREAKAWAY FLANGE.
2. ACTUAL VALVE LOCATION WILL DEPEND ON LOCATION OF WATER MAIN.
3. FIRE HYDRANT NO CLOSER THAN 18" TO EXISTING OR PROPOSED SIDEWALKS. (TYPICAL)
4. BURY DEPTH SHALL NOT EXCEED 7-FEET.
5. FIRE HYDRANT SHALL BE PLACED ON THE EXTENDED LOT LINE WHEN POSSIBLE.
6. **ALL BELOW GROUND IRON ASSEMBLES SHALL BE WRAPPED IN POLYETHYLENE ACCORDING TO AWWA C105.**
7. FIRE HYDRANT SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE OF THE AREA BETWEEN THE P.C.'S OF THE CORNER TURNING RADIUS AT THE INTERSECTIONS.
8. FIRE HYDRANT SHALL BE AT LEAST 42-INCHES FROM ANY ABOVE GROUND OBSTRUCTIONS, SUCH AS GUARDRAILS, RETAINING WALLS, BOLLARDS, ETC.
9. ALL FIRE HYDRANTS SHALL BE MANUFACTURED BY M&H OR MULLER (M&H MODEL 129, OR MULLER SUPER CENTERION 200).
10. ALL HYDRANTS SHALL OPEN BY TURNING THE OPERATING-STEM NUT TO THE RIGHT (CLOCKWISE). A CLEARLY VISIBLE CURVED ARROW AND THE WORD "OPEN" SHALL BE CAST IN RELIEF ON TOP OF THE HYDRANT TO INDICATE THE DIRECTION OF OPENING.

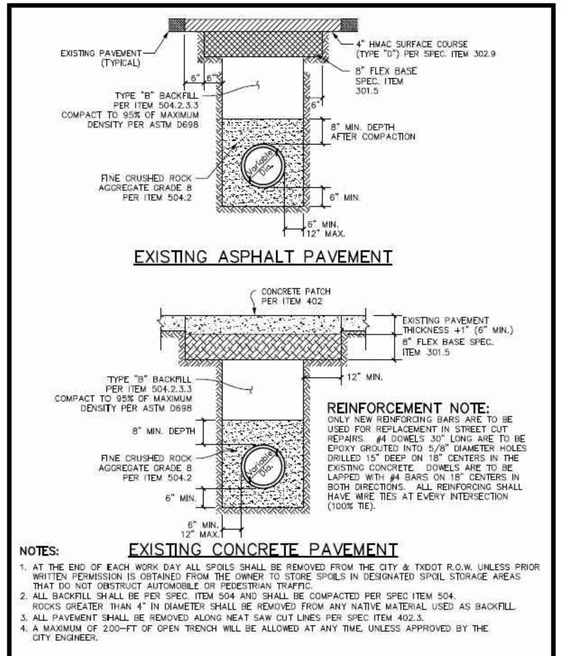
City of Lake Worth Texas	WATER SYSTEM CONSTRUCTION DETAILS **FIRE HYDRANT INSTALLATION**	REVISED MAY 2006 SCALE: 3/8" = 1' SHEET: W-2



City of Lake Worth Texas	SEWER SYSTEM CONSTRUCTION DETAILS **SANITARY SEWER MAIN LINE CLEANOUT**	REVISED MAY 2006 SCALE: N.T.S. SHEET: S-8



City of Lake Worth Texas	SEWER SYSTEM CONSTRUCTION DETAILS **4" SANITARY SEWER SERVICE**	REVISED MAY 2006 SCALE: N.T.S. SHEET: S-7



NOTES:

1. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY & TXDOT R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE OWNER TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
2. ALL BACKFILL SHALL BE PER SPEC. ITEM 504 AND SHALL BE COMPACTED PER SPEC ITEM 504. ROCKS GREATER THAN 4" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
3. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC ITEM 402.3.
4. A MAXIMUM OF 200-FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY ENGINEER.

City of Lake Worth Texas	SEWER SYSTEM CONSTRUCTION DETAILS **STANDARD SANITARY SEWER EMBEDMENT AND BACKFILL**	REVISED MAY 2006 SCALE: 1/2" = 1' SHEET: S-1B

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JG RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING - HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642-1331
TEXAS REG. FIRM # 18049

STATE OF TEXAS
JAIME G. RODRIGUEZ
117845
LICENSED PROFESSIONAL ENGINEER
Jaime G. Rodriguez
03-23-2018
USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY JAIME G. RODRIGUEZ, P.E. TEXAS LICENSE No. 117845

CONSTRUCTION DETAILS 2 OF 3

INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
9.01

CLIENT #: 107 JOB #: 1711

STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 3 TO 5 INCH DIAMETER COARSE AGGREGATE.

2. LENGTH SHALL BE AS SPECIFIED IN THE SWPPP.

3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.

4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.

5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.

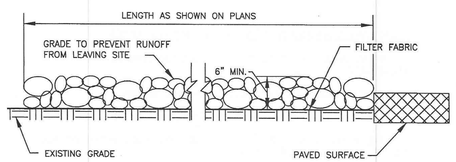
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.

7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.

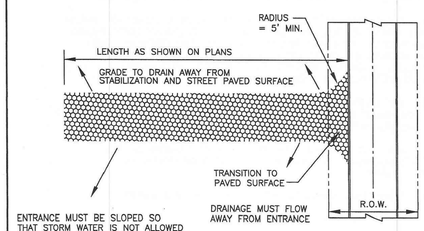
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.

STABILIZED CONSTRUCTION ENTRANCE	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 201.11	DATE OCT. '04	STANDARD DRAWING NO. 1070B



PROFILE VIEW

N.T.S.



PLAN VIEW

N.T.S.

STABILIZED CONSTRUCTION ENTRANCE	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 201.10	DATE OCT. '04	STANDARD DRAWING NO. 1070A

SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.

2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.

3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.

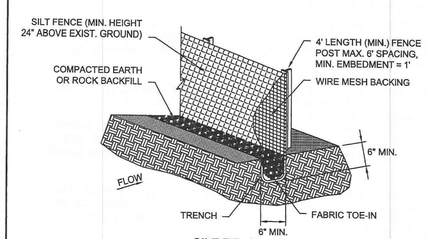
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.

5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.

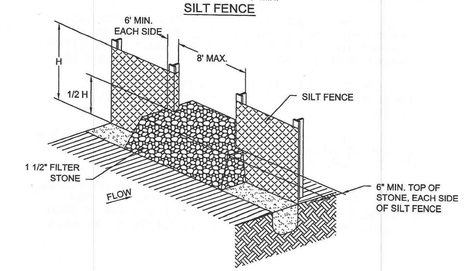
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.

7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

SILT FENCE	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 201.5	DATE OCT. '04	STANDARD DRAWING NO. 1020B



SILT FENCE



STONE OVERFLOW STRUCTURE

SILT FENCE	North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE 201.5	DATE OCT. '04	STANDARD DRAWING NO. 1020A

REVISION SCHEDULE

REV. No.	DESCRIPTION	DATE

JGR JG RODRIGUEZ ENGINEERING LLC
CIVIL ENGINEERING - HYDROLOGY
211 HUDSON OAKS DRIVE
HUDSON OAKS, TEXAS 76087
(575) 642-1331
TEXAS REG. FIRM # 18049

STATE OF TEXAS
JAIME G. RODRIGUEZ
117845
LICENSED PROFESSIONAL ENGINEER
Jaime G. Rodriguez
03-23-2018

USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY JAIME G. RODRIGUEZ, P.E. TEXAS LICENSE No. 117845

CONSTRUCTION DETAILS 3 OF 3

INDIAN OAKS
CITY OF LAKE WORTH
TARRANT COUNTY, TEXAS

DESIGN: JGR
DRAWN: JGR
CHECKED: JGR
DATE: DECEMBER 2017

SHEET #
9.02

CLIENT #: 107 JOB #: 1711

CITY OF LAKE WORTH
NOTICE OF PUBLIC HEARING
PLANNING AND ZONING COMMISSION
AND CITY COUNCIL

REPLAT REQUEST
PLANNING & ZONING CASE #PZ-2018-06

You may own property within two hundred feet (200') of the property described in the notice below. The owner of the lot has made application for a land use designation and site plan amendment. Attached you will find a map of the general location of the request. You are invited to attend and participate in the following public hearings regarding this application:

The Planning and Zoning Commission of the City of Lake Worth, Texas, will conduct the first of two public hearings at **6:30 p.m. on Tuesday, April 17, 2018,** at the Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135 to hear public comment and consider recommendations to the City Council regarding the proposed replat being all of 3.349-acres of land known as Block 32, Lot(s) 1-4 and 9-12, Indian Oaks Subdivision of the records of Tarrant County, Texas. The proposed replat's new legal description will be Block 32, Lot(s) Lot 1R1, 1R2, 2R1, 2R2, 3R, 4R1, 4R2, 9R1, 9R2, 10R, 11R1, 11R2, 12R1, and 12R2, Indian Oaks Subdivision, which is off Shawnee Trail, Apache Trail, and Caddo Trail, Lake Worth, Texas. The City Council will conduct a second Public Hearing at **6:30 p.m. on Tuesday, May 8, 2018**, at Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135 to hear public comment and consider. All interested parties are encouraged to attend.

VICINITY MAP ON REVERSE

Troy D Jones/Betty Jones
7004 Apache Trail
Lake Worth, Texas 76135

Rodolfo Castaneda/Claudia Luna
4736 Trail Lake Drive
Fort Worth, Texas 76133

Lenny Paul Walker
7104 Apache Trail
Lake Worth, Texas 76135

Johnny Lee Cross Estate
7108 Osage Trail
Lake Worth, Texas 76135

Robert Dale Franks
PO Box 137553
Fort Worth, Texas 76136

Cheryl Rena Hope
3300 Caddo Trail
Lake Worth, Texas 76135

City of Lake Worth
3805 Adam Grubb
Lake Worth, Texas 76135

Francisco Ruben Martinez/
Ariadna Salas
2924 Caddo Trail
Lake Worth, Texas 76135

Donald W/Terry K Vess
7200 Apache Trail
Lake Worth, Texas 76135

John F Levingston
8924 Kirk Lane
North Richland Hills, Texas 76182

Patricia Fay
7208 Apache Trail
Lake Worth, Texas 76135

Matthew Daryl Campbell
3332 Caddo Trail
Lake Worth, Texas 76135

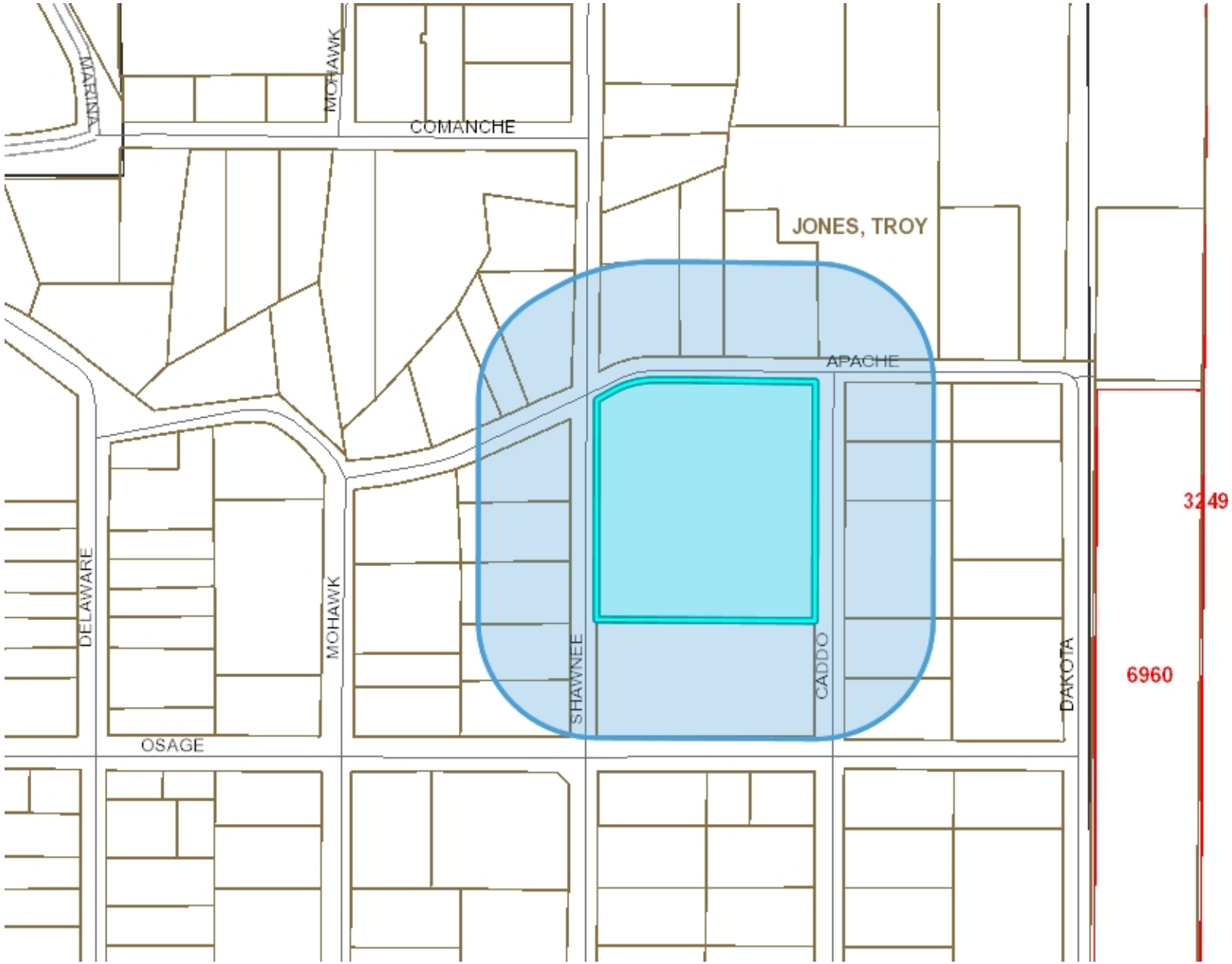
Virginia Haars
3329 Shawnee Trail
Lake Worth, Texas 76135

Lake Worth ISD
6805 Telephone Road
Lake Worth, Texas 76135

Ramon/Villegas Berth Aldaba
PO Box 4701
Fort Worth, Texas 76164

Donald R/Cheri D Bownds
3313 Shawnee Trail
Lake Worth, Texas 76135

Norberto Iracheta
3307 Shawnee Trail
Lake Worth, Texas 76135



Legend

- Parcels
- Lots
- Arterials
- Freeways
- Streets
- Tarrant County Streets
- Parks
- Lakes
- City Limit
- Extraterritorial Jurisdiction (ETJ)

FORT WORTH®

4/7/18 2:11 PM

1: 2,964

0.1 0 0.05 0.1 Miles

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. The City of Fort Worth assumes no responsibility for the accuracy of said data.

NCTCOG ORTHOPHOTOGRAPHY

CITY OF LAKE WORTH
PUBLIC COMMENT FORM
(Please type or use black ink)

Planning & Zoning Department at 3805 Adam Grubb, Lake Worth, Texas 76135

☐ I am **FOR** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-06.

☒ I am **AGAINST** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-06.

Date, Time and Location of Planning & Zoning Commission Meeting: **Tuesday, April 17, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Date, Time and Location of City Council Meeting: **Tuesday, May 8, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Name: Frank Roberts
(Please print)

Mailing Address: Block 34, Lot 6C Indian Oaks Subdivision

Signature: Frank Roberts

Date: 4/12/18

Property Address(s): 7108 Apache Tr. 3408 Shawnee

COMMENTS: 14 + dwellings = ? Traffic Additional Hazard potential. 2 Careless (Cell phone) (1 lost controll? due to blind spot) drivers in last ½ yr Caused major damage at 7108 Apache & Shawnee side 3408. ? Does all traffic from additional 14 units exit without blind spots?

PLEASE TURN IN PUBLIC COMMENT FORM NO LATER THAN
THURSDAY, APRIL 12, 2018 @ NOON TO BE INCLUDED IN THE AGENDA PACKET

RECEIVED
APR 12 2018

CITY OF LAKE WORTH
PUBLIC COMMENT FORM
(Please type or use black ink)

Planning & Zoning Department at 3805 Adam Grubb, Lake Worth, Texas 76135

☐ I am **FOR** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-06.

☒ I am **AGAINST** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-06.

Date, Time and Location of Planning & Zoning Commission Meeting: **Tuesday, April 17, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Date, Time and Location of City Council Meeting: **Tuesday, May 8, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Name: Virginia HAARS
(Please print)

Mailing Address: 3329 Shanee Trl.
Ft. Worth, Tx 76135

Block 25, Lot 9, Indian Oaks Subdivision

Signature: Virginia L Haars

Date: 4-12-18

Property Address(s): 3329 Shanee Trl.

COMMENTS:
The map I have of that property was layed-out for 8 houses, 2 on the end & 4 on each side.
Please, NO commercial!

PLEASE TURN IN PUBLIC COMMENT FORM NO LATER THAN
THURSDAY, APRIL 12, 2018 @ NOON TO BE INCLUDED IN THE AGENDA PACKET

RECEIVED
APR 13 2018

Lake Worth Planning & Zoning Commission Meeting – April 17, 2018

Agenda Item No. C.5

From: Suzanne Meason, Planning & Zoning Administrator

Item: Public Hearing to consider Planning & Zoning Case No. PZ-2018-07, to consider an Ordinance amending Ordinance No. 741, so as to change the zoning designation of an approximately 21.014-acre parcel of land, legally known as Block A, Lot 1R, Lake Worth Towne Center, Lake Worth, Tarrant County, Texas, being that all of the certain called 21.014-acre parcel of land recorded in the deed records of Tarrant County, Texas, from a zoning designation of "PC" – Planned Commercial for the use of a Walmart to a zoning designation of "PC" – Planned Commercial for the use of Retail for a Walmart Supercenter with a Fuel Station/Convenience Store, along with an amended development plan and site plan approval and by amending the Official Zoning Map to reflect such change. The property to be considered for re-zoning is generally described as 21.014-acre parcel of land located at 6360 Lake Worth Blvd., Lake Worth, Texas.

Property Description:
21.014-acre parcel of land, located off Lake Worth Blvd.

Property Owner(s):
Owner: Benedict A Silverman, 300 71st Street, Suite #448, Miami Beach, Florida 33141
Tenant: Walmart Stores of Texas, LLC, PO Box 8050, Bentonville, AR 72712

Applicant:
Tenant: Walmart Stores of Texas, LLC, PO Box 8050, Bentonville, AR 72712

Engineer/Surveyor:
Engineer: Jorge Gonzalez, Bohler Engineering, 6017 Main Street, Frisco, Texas 75034

Current Zoning:
"PC" – Planned Commercial

Proposed Use(s):
"PC" – Planned Commercial for the use of Retail for a Walmart Supercenter with a Fuel Station/Convenience Store

Existing Road(s):
Lake Worth Blvd. and Paul Meador Drive

Surrounding Zoning:
North: The property to the north is currently zoned "MPD" – Mixed Planned Development.

South: The property to the south is currently zoned "PC" – Planned Commercial.

East: The property to the east is currently zoned "PC" – Planned Commercial.

West: The property to the west is currently zoned "PC" – Planned Commercial.

Summary:
Walmart has applied for an amendment to their existing site to add a fuel station/convenience store to the property. The fuel station will be owned/operated by Walmart and will be located near Lake Worth Blvd., next to the Bank of America site.

The development plan, site plan, and civil construction plans have been reviewed and approved by city staff and are ready to be heard by the Planning and Zoning Commission for recommendation to the City Council.

The case was uploaded into the RCC review tool and those comments (if any) will be presented to the Commission on Tuesday at the meeting.

Public Input:
On Friday, April 6, 2018 as required by State law, the City mailed out nineteen (19) letters of Notification for a Public Hearing to all property owners within two hundred (200') feet of the subject site. Notice was also published in the City's paper of record, the Fort Worth Star Telegram on Friday, March 30, 2018. We have received the following in favor/opposition to the request:

1. FOR – 1 form received, no comments.
2. AGAINST – No forms received.

Fiscal Impact:
N/A

Attachments:
1. Development Application
2. Ordinance
3. Development Plan/Site Plan/Civil Construction Plans
4. Public Hearing Notice
5. Public Hearing Notifications (within 200' of subject property)
6. Vicinity Map
7. Returned Public Comment Form(s)

Recommended Motion or Action:
Staff's recommendation is the zoning designation, land use, development and site plan amendment are at the discretion of the Planning & Zoning Commission and City Council.

BUILDING DEVELOPMENT SERVICES
PLANNING & ZONING DIVISION
3805 ADAM GRUBB, LAKE WORTH, TEXAS 76135
817-255-7922 OR SMEASON@LAKEWORTHTX.ORG

FOR OFFICE USE ONLY
Case No: PZ-2018-07
Date Submitted: 2.14.18

APPLICATION FOR DEVELOPMENT APPROVAL

(CHECK ALL THAT APPLY)

X ZONING CHANGE X LAND USE X SITE PLAN ____ SITE PLAN AMENDMENT

PROPERTY ADDRESS 6360 LAKE WORTH BLVD

CURRENT LEGAL DESCRIPTION LAKE WORTH TOWNE CENTER ADDN BLOCK A LOT 1R2

CURRENT ZONING CLASSIFICATION & LAND USE PC - PLANNED COMMERCIAL

PROPOSED ZONING CLASSIFICATION & LAND USE PC- PLANNED COMMERCIAL

TOTAL ACRES 21.01 (PER GIS) # OF LOTS 1

APPLICANT/DEVELOPER INFORMATION

NAME WAL-MART STORES TEXAS LLC
ADDRESS P.O. BOX 8050 CITY BENTONVILLE
STATE AR ZIP 72712-8055 EMAIL JOHN.ROGGE@WALMART.COM
PHONE (479) 204-0070 FAX

PROPERTY OWNER INFORMATION

NAME WAL-MART STORES TEXAS LLC
ADDRESS P.O. BOX 8050 CITY BENTONVILLE
STATE AR ZIP 72712-8055 EMAIL JOHN.ROGGE@WALMART.COM
PHONE (479) 204-0070 FAX

SURVEYOR/ARCHITECT/ENGINEER INFORMATION

NAME BOHLER ENGINEERING
ADDRESS 6017 MAIN ST CITY FRISCO
STATE TX ZIP 75034 EMAIL JGONZALEZ@BOHLERENG.COM
PHONE (469) 458-7300 FAX

I hereby certify that I am the owner of the property described above and further certify that the information provided on this development application is true and correct. I further understand that the public hearing for this project will not be scheduled until the application fee(s) have been paid and the plans have been reviewed and accepted by City staff. *IF APPLICATION IS SIGNED BY SOMEONE OTHER THAN THE OWNER, THEN AN OWNER AUTHORIZATION FORM MUST BE COMPLETED AND TURNED IN WITH APPLICATION.*

SIGNATURE OF OWNER, AGENT, OR APPLICANT

2/7/18
DATE

GENERAL INFORMATION

Civil construction plan submittals shall meet the following general sheet requirements and order:

1. Cover Sheet with Vicinity Map (Project Name, Address, Legal Description, Type of Plan(s), and Current Date shall be shown on cover)
2. Final Plat
3. Site Layout
4. Dimensional Control Plan
5. Paving Plan and Profile
6. Grading Plan
7. Drainage Area Map
8. Storm Sewer Layout
9. Storm Sewer Plan and Profile
10. Water Layout
11. Water Plan and Profile
12. Sanitary Sewer Layout
13. Sanitary Sewer Plan and Profile
14. Storm Water Pollution Prevention Plan (Erosion Control Plan)
15. Traffic Control Plan
16. Standard Construction Details

Construction plans must be 100% complete at the time of submittal. Any incomplete sets of construction plans shall be returned unreviewed.

SUBMITTAL CHECKLIST

The following items must be turned in for the subdivision plat application to be accepted and processed by this department:

- x DEVELOPMENT APPLICATION
- N/A OWNER AUTHORIZATION FORM (IF APPLICABLE)
- x APPLICATION FEE (VERIFY WITH P&Z ADMINISTRATOR)
- x FOUR (4) HARD COPIES OF DEVELOPMENT PLAN, CIVIL CONSTRUCTION PLANS OR SITE PLAN AMENDMENT PLAN (WHICHEVER IS APPLICABLE) **(ACCEPTED SIZE 24" x 36")**
- x ELECTRONIC VERSION (.pdf) OF THE PLANS EMAILED TO SMEASON@LAKEWORTHTX.ORG

OFFICE USE ONLY

Fee: $5,550.00
Date Paid: 2.14.18
Receipt #: P18-0126
Ownership Verified:
☑ **YES** ☐ **NO**
Taxes Paid:
☑ **YES** ☐ **NO**
Liens Paid:
☑ **YES** ☐ **NO**

Public Hearing Newspaper Notice Deadline Date: 3.30.18
Public Hearing 200' Notification Deadline Date: 4.7.18
P&Z Commission Meeting Date: 4.17.18
City Council Meeting Date: 5.8.18

Approval Date:
Ordinance Number:
Instrument #:

ORDINANCE NO. XXXX

AN ORDINANCE AMENDING ORDINANCE NO. 741, SO AS TO CHANGE THE ZONING DESIGNATION OF APPROXIMETLY 21.014 ACRES, BEING GENERALLY DESCRIBED AS A 21.014 ACRE PARCEL OF LAND BEING ALL THAT CERTAIN PARCEL, BLOCK A, Lot 1R, LAKE WORTH TOWNE CENTER, LOCATED IN THE CITY OF LAKE WORTH, TARRANT COUNTY, TEXAS, FROM A ZONING DESIGNATION OF "PC" PLANNED COMMERCIAL FOR THE USE OF A WALMART, TO A ZONING DESIGNATION OF "PC" – PLANNED COMMERCIAL FOR THE USE RETAIL FOR A WALMART SUPERCENTER WITH A FUEL STATION/CONVENIENCE STORE, ALONG WITH AN AMENDED DEVELOPMENT PLAN AND SITE PLAN APPROVAL "EXHIBIT A", AND BY AMENDING THE OFFICIAL ZONING MAP TO REFLECT SUCH CHANGE; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A PENALTY CLAUSE; PROVIDING FOR SAVINGS; PROVIDING FOR SEVERABILITY; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND NAMING AN EFFECTIVE DATE.

WHEREAS, the City of Lake Worth is a Home Rule City acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, pursuant to Chapter 211 of the Local Government Code, the City has adopted a comprehensive zoning ordinance and map regulating the location and use of buildings, other structures and land for business, industrial, residential or other purposes, and providing for a method to amend said ordinance and map for promoting the public health, safety, morals and general welfare; and

WHEREAS, the owner of a 21.014-acre parcel of land located in Lake Worth, Texas, has initiated an application on the hereinafter described property to re-zone same; and

WHEREAS, a public hearing was duly held by the Planning and Zoning Commission of the

City of Lake Worth on April 17, 2018, and by the City Council of the City of Lake Worth May 8 2018, with respect to the zoning described herein; and

WHEREAS, all requirements of law dealing with notice to other property owners, publication and all procedural requirements have been complied with in accordance with Chapter 211 of the Local Government Code; and

WHEREAS, the City Council of the City of Lake Worth, Texas, does hereby deem it advisable and in the public interest to amend Ordinance No. 741, and to amend the Official Zoning Map of the City, as described herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAKE WORTH, TEXAS:

SECTION 1.

INCORPORATION OF PREMISES

The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2.

ORDINANCE 741 AMENDED

Ordinance No. 741, is hereby amended by approving a change to the zoning designation from "PC" – Planned Commercial for the use of a Walmart to a zoning designation of "PC" – Planned Commercial for the use of Retail for a Walmart Supercenter with a Fuel Station/Convenience Store, along with an amended development plan and site plan approval and by amending the Official Zoning Map to reflect such change for the property hereinafter described below:

Zoning Case No. PZ-2018-07

Owner:	Walmart Stores of Texas, LLC PO Box 8050 Bentonville, AR 72712
Applicant:	Walmart Stores of Texas, LLC PO Box 8050 Bentonville, AR 72712
Legal Description:	Block A, Lot 1R, Lake Worth Towne Center, Lake Worth, Tarrant County, Texas
Property Address:	6360 Lake Worth Blvd.
Property Zoning:	PC-Planned Commercial
Permitted use:	The use and operation use of Retail for a Walmart Supercenter with a Fuel Station/Convenience Store as more particularly shown on the Site and Development Plan attached hereto as Exhibit "A".

SECTION 3.

COMPLIANCE WITH DEVELOPMENT PLAN, SITE PLAN AND ORDINANCES

The use and development of the property shall be subject to all terms and conditions set forth in the Site and Development Plan attached hereto as Exhibit "A" in addition to all applicable regulations contained in the Comprehensive Zoning Ordinance and all other applicable and pertinent ordinances of the City of Lake Worth, Texas.

SECTION 4.

OFFICIAL ZONING MAP AMENDED

The City Secretary is hereby directed to amend the Official Zoning Map to reflect the changes in classification approved herein.

SECTION 5.

CUMULATIVE CLAUSE

This Ordinance shall be cumulative of all provisions of all other ordinances of the City of Lake Worth, Texas except where the provisions of this Ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed.

SECTION 6.

PENALTY CLAUSE

Any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this Ordinance shall be fined not more than Two Thousand Dollars ($2,000.00) for each offense. Each day that a violation is permitted to exist shall constitute a separate offense.

SECTION 7.

SEVERABILITY

It is hereby declared to be the intention of the City Council of the City of Lake Worth that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared invalid or unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such invalidity or unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City

Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 8.

SAVINGS

All rights or remedies of the City of Lake Worth, Texas are expressly saved as to any and all violations of the provisions of any ordinance affecting zoning or land use, which have accrued at the time of the effective date of this Ordinance; and as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such Ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the Courts.

SECTION 9.

ENGROSSMENT AND ENROLLMENT

The City Secretary of the City of Lake Worth is hereby directed to engross and enroll this Ordinance by copying the caption, publication clause and effective date clause in the minutes of the City Council and by filing the Ordinance in the Ordinance Records of the City.

SECTION 10.

PUBLICATION

The City Secretary of the City of Lake Worth is hereby directed to publish in the official newspaper of the City of Lake Worth, the caption, the penalty clause, publication clause, and effective date clause of this ordinance two (2) days as authorized by Section 52.013 of the Local Government Code.

SECTION 11.

EFFECTIVE DATE

This Ordinance shall be in full force and effect from and after its passage and publication as required by law, and it is so ordained.

PASSED AND APPROVED on this 8th day of May, 2018.

Approved:

_____
Walter Bowen, Mayor

Attest:

_____
Monica Solko, TRMC
City Secretary

APPROVED AS TO FORM AND LEGALITY:

_____
City Attorney

SITE PLAN DOCUMENTS

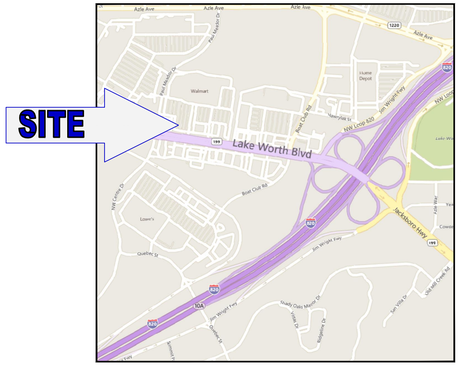
FOR

Walmart

Save money. Live better.

LOCATION OF SITE

6360 □A□E □ □□TH B□□D
□A□E □ □□TH, T□ 76135
□A□E □ □□TH T□□ NE CENTE□
B□□C□ A, □□T 1□


SITE
Lake Worth Blvd
Walmart
Home Depot
Lowe's
Quality Dr
Bear Creek Rd
Jim Wright Fwy
Jim Wright Fwy
Jackson Hwy
Lake Worth
Aziz Ave
Aziz Ave
Aziz Ave
Paul Kayser
Eva Hawthorne
Venice Dr
NW Loop 820
Lake Worth Blvd
Lake Worth
Lake Worth Dr
Cheyenne Dr
Wyoming Dr
Kiowa Dr
Apache Dr
Navajo Dr
Sioux Dr
Sioux Dr
Sioux Dr
Cree Dr
Cree Dr
Cree

GENERAL NOTES:

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FOLLOW AND COMPLETE CONFORMITY AND COMPLIANCE WITH THESE GENERAL NOTES.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
   - "ALTA / NSPS LAND TITLE SURVEY FOR BOHLER ENGINEERING SHOWING PART OF LOT 10, BLOCK A, LACE TOWN CENTER," PREPARED BY BOHLER ENGINEERING SHOWING PART OF LOT 10, BLOCK A, LACE TOWN CENTER, DATED: 5/12/17.
   - "GEOTECHNICAL ENGINEERING REPORT FOR STATION 72 PREPARED BY ECS SOUTHEAST, LLP, DATED: 5/17/17.

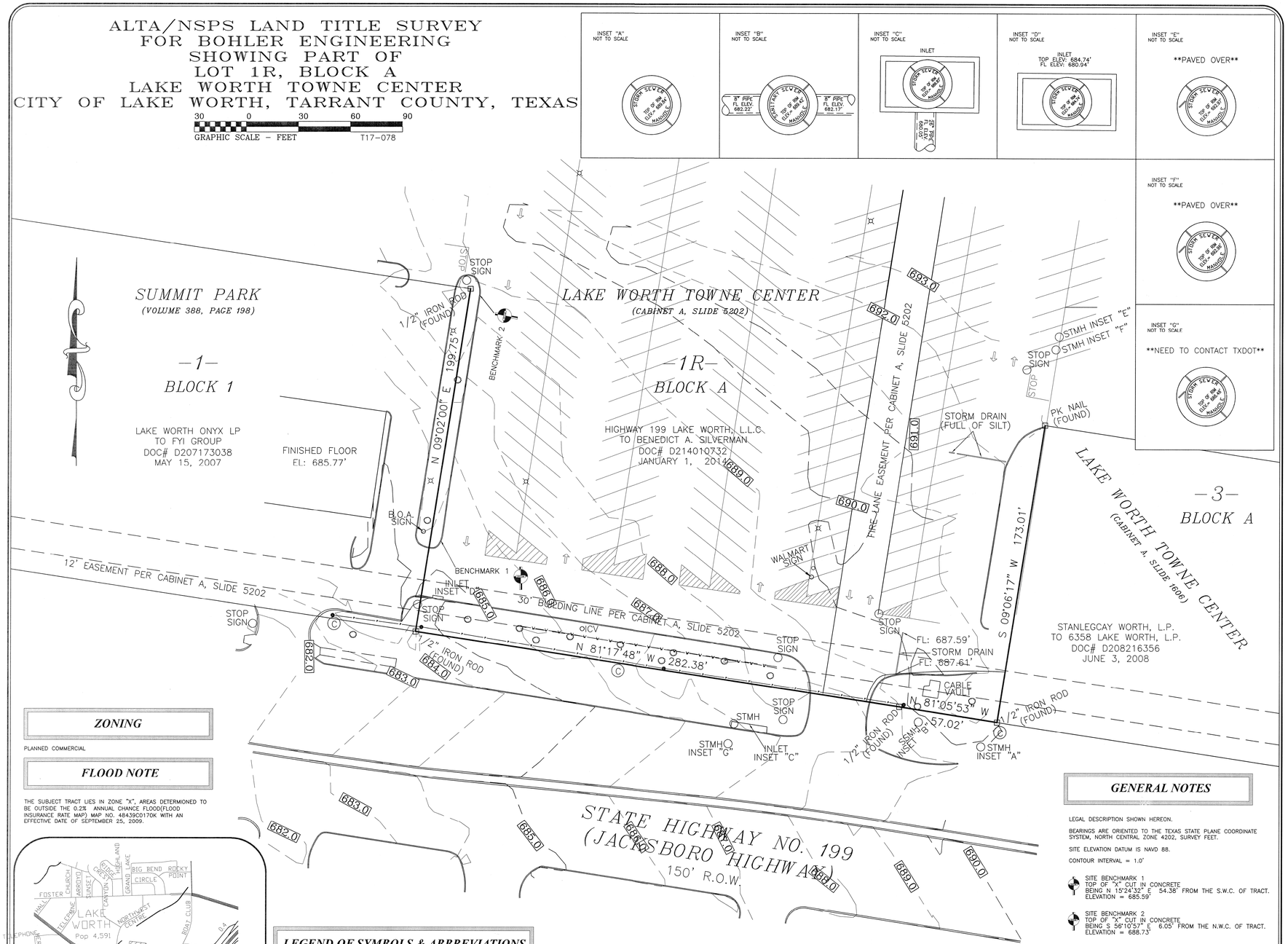
PROVIDE THE STATUS OF CONSTRUCTION, THE CONTRACTOR MUST SEEK REPORT THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS SHALL CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (ADA/AODA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MOST RECENT EDITION OF THE REGULATIONS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REGULATIONS OF THE STATE OF OHIO, WHICHEVER PROVIDES A MORE COMPLETED.
3. PROVIDE STATUS OF CONSTRUCTION, THE CONTRACTOR'S RESPONSIBILITY ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REQUIRED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
4. THE NEW CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS.
5. ALL DIMENSIONS MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONTRACTS OF APPROVAL AND APPLICABLE REGULATIONS, CODES, REGULATIONS, STATUTES, REGULATIONS, CODES, LAWS AND STANDARDS OF ACCREDITED ENVIRONMENTAL ENTITIES. WITH PROVIDED CONTRACTOR'S RESPONSIBILITY.
6. THE ELECTROMECHANICAL DEPUTY AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE PROVIDED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY, OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE PLANS AND THE ELECTROMECHANICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE IN THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER IN WRITING OF ANY SUCH CONFLICT, DISCREPANCY, AMBIGUITY BETWEEN THE ELECTROMECHANICAL REPORTS AND PLANS AND SPECIFICATIONS PROVIDED TO PROCEED IN THE PROJECT.
7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY ESSENTIAL CONDITIONS AND NOTIFY BOHLER ENGINEERING IN WRITING IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED CONSTRUCTION CONFLICTS WITH ANY OTHER SITE FEATURES.
8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER IN WRITING, FAX, CONFLICTS, DISCREPANCIES, AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK DONE WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR ADES SHOWN NOT CORRECT ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING LOCATIONS.
10. PROVIDE TO THE STATE OF CONSTRUCTION, THE CONTRACTOR MUST CONSIDERATE THE BUILDING ADDITIONS CAREFULLY DEVELOPED OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (NOT BUILDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
11. DEBRIS MUST NOT BE BURIED WITHIN THE SUBJECT SITE AND ALL DEMOLISHABLE EVACUATED MATERIALS AND DEBRIS (SUCH ASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF PLANS AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT.
12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHOULD BE REPAIRED AND FOLLOW INSTRUCTIONS AND SHOULD BE PROVIDED BY EVACUATION (TO BE PERFORMED IN ACCORDANCE WITH THE CONSULTANT (SHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTRACTOR'S STRUCTURES AND PROPERTIES.
13. THE CONTRACTOR IS TO REVIEW SITE TIME CAREFULLY WHEN PERFORMING ANY OF ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN INTACT FOR AN INITIAL PHASE OF THE PROJECT AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THOSE PARTIES, PEDESTRIANS AND ANYONE INVOLVED IN THE PROJECT.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY DAMAGE DONE TO ANY NEIGHBORING STRUCTURES OR PROPERTIES DURING THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR MUST REPAIR, REPLACE, RESTORE, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, DEMOLITION, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, DEMOLITION, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY INTERCONNECTION CABLE, ETC. AND CONDUITS, AND ANY UNDERGROUND ACCESSORIES REQUIRED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR'S RESPONSIBILITY ENSURE THAT ALL REQUIRED PERMITS MUST BE OBTAINED, IN ADDITION, THE CONTRACTOR'S RESPONSIBILITY ENSURE THAT ALL REQUIRED PERMITS HAVE BEEN

ALTA/NSPS LAND TITLE SURVEY
FOR BOHLER ENGINEERING
SHOWING PART OF
LOT 1R, BLOCK A
LAKE WORTH TOWNE CENTER
CITY OF LAKE WORTH, TARRANT COUNTY, TEXAS

30 0 30 60 90
GRAPHIC SCALE – FEET

T17-078

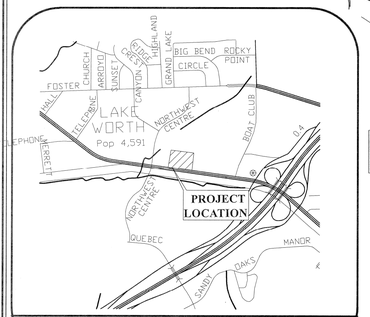


ZONING

PLANNED COMMERCIAL

FLOOD NOTE

THE SUBJECT TRACT LIES IN ZONE "X", AREAS DETERMIONED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD(FLOOD INSURANCE RATE MAP) MAP NO. 48439C0170K WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.



VICINITY MAP

LEGEND OF SYMBOLS & ABBREVIATIONS

(V)	WATER VALVE		LIGHT POLE
—SS—	SANITARY SEWER		GUY ANCHOR
[T]	PEDESTAL BOX		MANHOLE
—x—	FENCE		FIRE HYDRANT
—P—	POWER LINE		HANDICAPPED PARKING
[W]	WATER METER		PROPERTY CORNER
	POWER POLE	[E]	ELECTRIC BOX
—W—	WATER LINE	—G—	GAS PIPELINE
—T—	TELEPHONE LINE	(G)	GAS VALVE
—FO—	FIBER OPTIC LINE	—C—	UNDERGROUND CABLE
(U)	UNDERGROUND CABLE BOX		

GENERAL NOTES

LEGAL DESCRIPTION SHOWN HEREON.

BEARINGS ARE ORIENTED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, SURVEY FEET.

SITE ELEVATION DATUM IS NAVD 88.

CONTOUR INTERVAL = 1.0'

SITE BENCHMARK 1
TOP OF "X" CUT IN CONCRETE
BEING N 15°24'32" E 54.38' FROM THE S.W.C. OF TRACT.
ELEVATION = 685.59'

SITE BENCHMARK 2
TOP OF "X" CUT IN CONCRETE
BEING S 56°10'57" E 6.05' FROM THE N.W.C. OF TRACT.
ELEVATION = 688.73'

UTILITY NOTES

The contractor(s) shall be responsible for confirming the location (horizontal & vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer and water). The contractor(s) shall be responsible for confirming the location (horizontal & vertical) of gas, television, telephone and other utility easements which impact the construction site. The contractor(s) shall notify the owner if any discrepancies are found between the actual conditions and the data contained in the construction plans. Any costs incurred as a result of not verifying the actual location (horizontal & vertical) of said cables, conduits, pipes and structures shall be borne by the contractor(s).

Adequate research to determine the location of intended boundary lines was made. In accordance with the Texas Board of Professional Land Surveyors, General Rules and Practices, Section 663.16 (c), research to support the delineation of easements, rights-of-way and restrictive covenants was not performed. The location of utilities shown hereon are from observed evidence of above ground appurtenances only. The surveyor was not provided with underground plans or surface ground markings to determine the location of any subterranean uses.

AS SURVEYED LEGAL DESCRIPTION

ALTA / ACSM LAND TITLE SURVEY

I, Philip W. Cornett, Registered Professional Land Surveyor do hereby certify to Bohler Engineering as of the date hereof that I have made a careful survey of a tract of land described as follows:

1. The accompanying survey was made on the ground and correctly shows the location of all buildings, structures and other improvements situated on the above premises and the courses and distances shown thereon are correct; and there are no visible encroachments on the subject property or upon adjacent and abutting said property except as shown hereon.

2. The title lines and the lines of actual possession are the same, except as shown.

3. The Property described hereon is the same as the property described in Title Commitment No. ---------- (the Commitment), with an effective date of ---------- that all easements, covenants and restrictions referenced in said title commitment are apparent from a physical inspection of the site or otherwise noted as to their effect on the subject property.

4. The subject tract lies in Zone "X", areas determind to be outside the 0.2% annual chance flood per Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 48439C0170K with an effective date of September 25, 2009, County of Tarrant, Texas, which is the current Flood Insurance Rate Map for the community in which said premises is situated.

5. State Highway No. 199 (Jacksboro Highway) is immediately adjacent to the subject property and no strips, gores or gaps are present.

6. The field-measured description of the subject property forms a mathematically closed figure.

7. The legal description shown on this plan describes the same property as that in the Commitment.

8. There are no gaps, gores, or strips in the parcels or lots that constitute the subject property.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and includes items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 8, 9, 11(a), 13, 14, 16, 17, 18, 19 and 20(a) of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Texas, the maximum Relative Positional Accuracy of this survey does not exceed that which is specified therein.

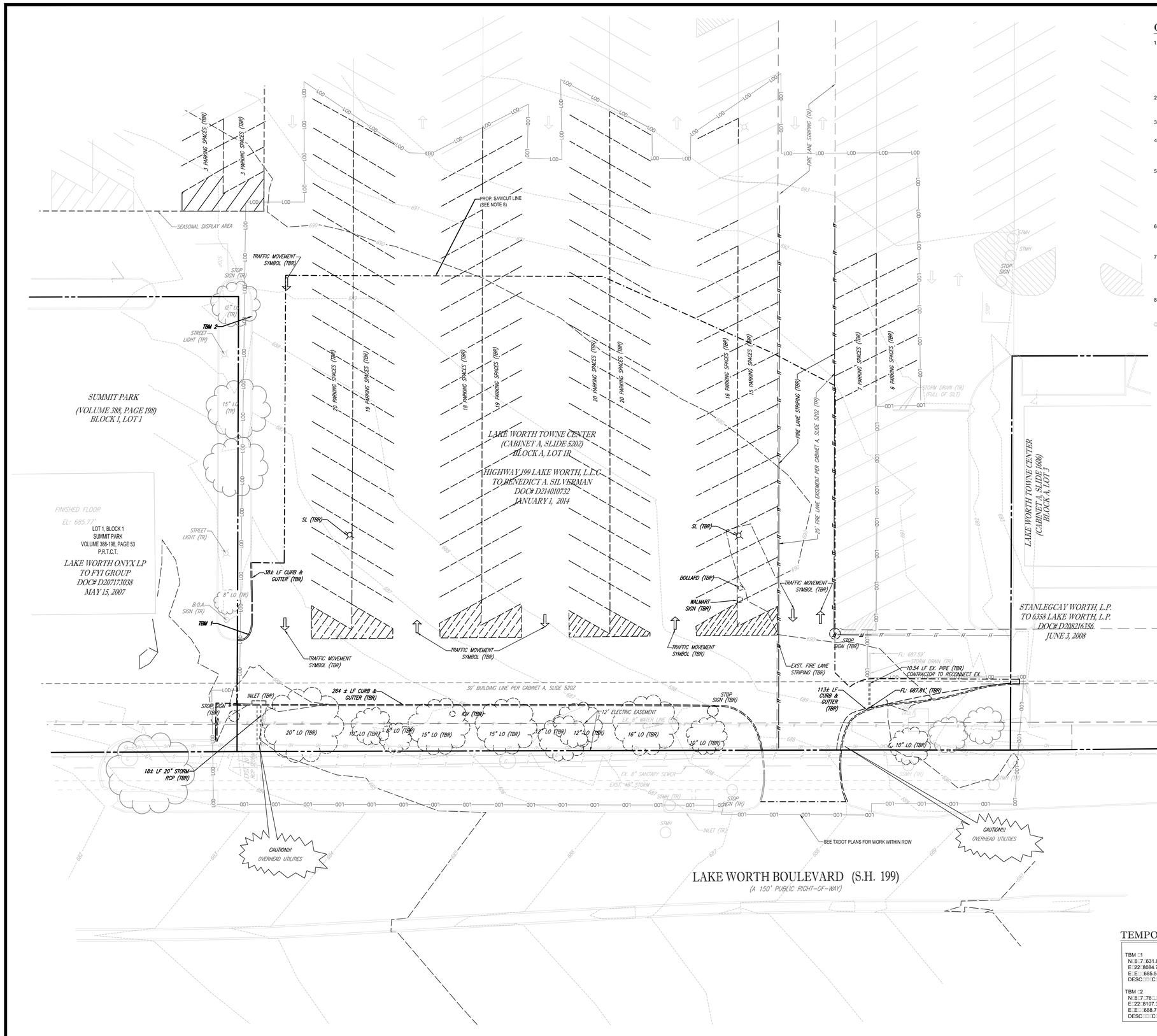
PHILIP W. CORNETT
REGISTRATION NO. 5515
WITHIN THE STATE OF TEXAS
DATE OF SURVEY: MAY 10, 2017 "ON THE GROUND"
DATE OF LAST REVISION: MAY 18, 2017

STATE OF TEXAS REGISTERED PHILIP W. CORNETT 5515 PROFESSIONAL LAND SURVEYOR

SURVEY PREPARED BY:
JOHN COWAN & ASSOCIATES, INC.
10147 COUNTY ROAD 135
FLINT, TEXAS 75762
PHONE: 903-581-2238
FAX: 903-581-0600
E-MAIL: www.txsurveys.com
TEXAS REGISTRATION CERTIFICATION NO. 10025500

SHEET 1 OF 1

JOHN COWAN & ASSOCIATES, INC.
10147 COUNTY ROAD 135, FLINT, TEXAS 75762
PH: (903) 581-2238 FAX: (903) 581-0600
FIRM REGISTRATION CERTIFICATION NO. 10025500



GENERAL DEMOLITION NOTES:

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION

   "ALTA / NSPS LAND TITLE SURVEY
   WALMART NORTH LAKE WORTH CENTER
   10147 CONTROL LINE
   FORT WORTH, TEXAS 75762
   DATED: 05/12/17

2. CONTRACTORS SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR RELATED SUBSTITUTES THERETO.

3. BOHLER HAS NO CONTRACTUAL RELATIONSHIP WITH ANY OF THE PERSONS BOHLER MAY CONSULT WITH OR RELATED TO SAFETY ON OR ABOUT THE SITE PERTAINING TO OUR ASSIGNED TASKS.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ON ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ASSUME RESPONSIBILITY FOR THE SITE PLAN DIMENSIONS AND INCIDENTAL ITEMS NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTORS MUST ASSESS ANY CONSTRUCTION CONCERNS THE CONTRACTOR HAS OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR'S OWN PERSONNEL IN PERFORMING THE DEMOLITION ON THIS PROJECT, OR THE INTERACTION OF ANY SITE CONTRACTOR AND ANY DEMOLITION CONTRACTOR. CONTRACTORS MUST BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, CODES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

6. PROVIDE TEMPORARY AND DEMOLITION, CONTRACTOR SHALL PROVIDE BRACING ON ALL EXPOSED PERIMETERS AND MAINTAIN THE SAME ON SITE FOR DEPTH OF THE EXCAVATION OF THE PROJECT, SITE CONDITIONS AND DEMOLITION ON PROJECT.

7. THE CONTRACTOR OF RECORD SHALL INDICATED ON THE PLAN AS APPROVED MATERIALS, FILED CONTRACTOR ACCORDING TO INSTRUCTIONS CONTAINED IN THE AREA OF PROJECT. THE COMMENCEMENT OF CONSTRUCTION CONSTITUTES ACCEPTANCE OF ALL INSTRUCTIONS CONTAINED IN DOCUMENTS. SHOULD CONDITIONS NOT STATED FAVORABLE TO THE APPROVED MATERIALS, SHOULD FACE FATIGUES AREA SHOWN IN AN APPROVED MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY DETECTION OF ANY UNDERGROUND UTILITIES AND DEPTH.

8. ASPHALT AND CONCRETE SECTIONS SHALL BE REMOVED BY SAW CUTTING THE NEAREST CONTROL JOINT ALONG THE CONTRACTOR DESIGNATED FOR REMOVAL THE PLANS. EXISTING PAVEMENT SHALL BE SAW CUT IN A DIRECTION SHEET AB; TTN NEW PAVEMENT CONCRETE.

9. CONDUCTING ANY DEMOLITION ACTIVITIES, ABANDONMENT OF THE APPROPRIATE STORM SEWER PIPE, CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM SEWER PIPES DURING PHASES OF CONSTRUCTION.

DEMOLITION LEGEND

EXISTING	TYPICAL TEXT	DEMOLITION
	PROPERTY LINE	
	ADJACENT LINE	
	DIMENSIONS	
	CONCRETE CURB	
	SAWCUT	
FF FF	FENCE LINE	
W W	UNDERGROUND WATER	
OH OH	OVERHEAD	
E E	ELECTRIC LINE	
T T	UNDERGROUND TELEPHONE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	HYDRANT	
	STORM SEWER MANHOLE	
	SANITARY SEWER MANHOLE	
	STORM SEWER INLET / CATCH BASIN	
	TREE	
T	TELEPHONE MANHOLE	

ANNOTATION LEGEND:

TBM 1 TO BE REMOVED
TBM 2 TO BE REMAIN
BOLLARD TO BE REMOVED

TEMPORARY BENCHMARKS

TBM 1
N: 6777631.8173
E: 2208047.517
ELEV: 685.5
DESCRIPTION: CUT N CROSS CUT B/CUTTER

TBM 2
N: 6777676.542
E: 2208107.327
ELEV: 688.73
DESCRIPTION: CUT N CROSS CUT B/CUTTER

N
W E
S

20 10 5 0 20
1" = 20'

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
SUSTAINABLE DESIGN
LANDSCAPE ARCHITECTURE
TRANSPORTATION SERVICES

PENNSYLVANIA: 412-747-8960
NEW JERSEY: 732-549-3225
NEW YORK: 631-884-0555
WASHINGTON, DC: 202-558-7319
CHARLOTTE, NC: 704-561-7700
DALLAS, TX: 972-789-1160
TAMPA, FL: 813-884-1369
SAN ANTONIO, TX: 210-829-2311

THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN PERMISSION FROM BOHLER ENGINEERING PENNSYLVANIA, LLC. ©2017 BOHLER ENGINEERING PENNSYLVANIA, LLC. ALL RIGHTS RESERVED.

REVISIONS

REV.	DATE	COMMENT	BY
1	4/5/18	REVISED PER CONSTRUCTION SERVICES	MCH

811
CALL 811 BEFORE YOU DIG
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.	TD178006
DRAWN BY	MCH
CHECKED BY	DJC
DATE	2/14/18
SCALE	1" = 20'
CAD FILE	DP0

PROJECT

PROP. SITE PLAN DOCUMENTS

FOR

Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
LICENSE NUMBER: 18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
DATE OF LICENSE: 04/26/2018
LICENSE NUMBER: 117874

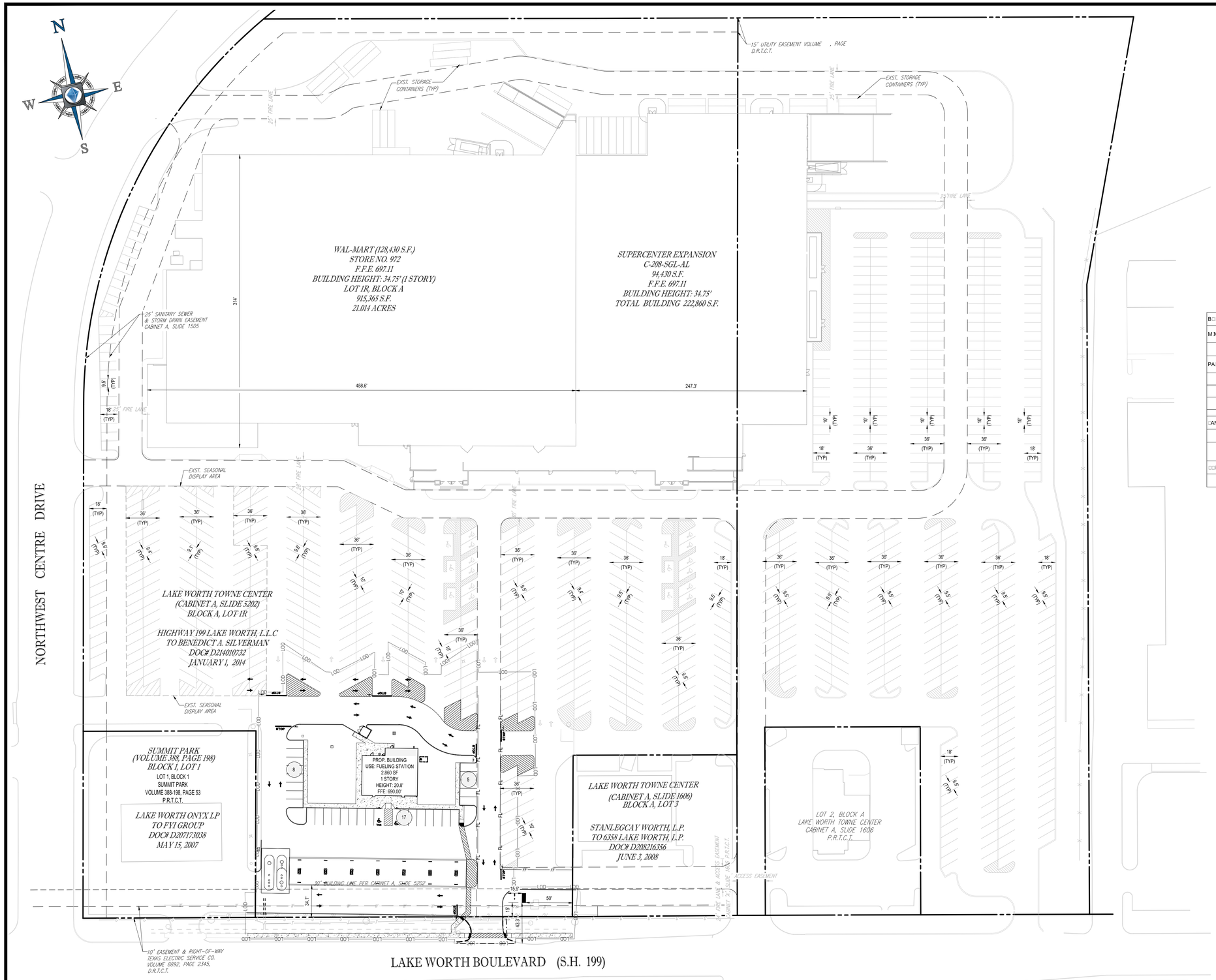
SHEET TITLE

EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER

C-2.0

H:\TD178006\DWG\PLAN SETS\TD178006DP0.DWG PLOTTED BY: MICHAEL BEST 4:06:18 PM 10:06 AM LAST SAVED BY: DJCONES



SITE PLAN NOTES:

1. A□□ D MENS□NS A□E F□□M FACE □F C□□B □□ FACE □F B□□D N□ □N□ESS N□TED □THE□□ :SE
2. A□□ C□□B □AD□A□E 4□□N□ESS N□TED □THE□□ :SE

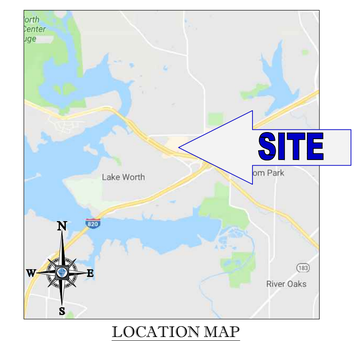
LAND USE AND ZONING INFORMATION AND NOTES:

1. □EFE□ T□ □ENE□A□N□TES SHEET C-1.1
2. S□□□E□□□□ BENCHMA□□ □□□□P □F TE□AS, NC. 8□□P□ES DENT A□D□, S□TE 110 □CHA□DS□N, T□ 75081
3. APP□CANT□ □A□MA□T 2001 SE 10th ST. BENT□N□□□E, A□ 72716
4. □□ NE□□ S□□E□MAN BENED CT A ATTENT□N:C/□MCA□ED □EA□T□ 300 71ST S□□TE 448 M.AM□BEACH, F□33141
5. PA□CE□□ PPN□2731740 C□□□N C□□NT□ P□AN□,T□ 75023 E□ST N□ A□EA□21.01 AC P□□P□SED A□EA□21.01 AC
6. □□NED□ PC - P□ANNED C□MME□C A□

B□□□ □E□□□EMENTS□		□E□□□ED	P□□P□SED
M.N. B□□D N□ SETBAC□			
	F□□NT □A□□D	30□	128.3□
	S DE / □EA□ □A□D	N/A	113.7□
PA□□N□ □E□□□EMENTS			
	F□E□STAT□N, 5 SPACE / 1,000 SF	15	30
	□ETA□, 5 SPACE/1,000 SF	1,115	868
	PA□□N□ D MENS□NS	□x 18□	□x 18□
	M.N. A S□E □ DTH (T□ □-□ A□)	24□	24□
□AND □SE			
	□ A□MA□T	□ETA□	□ETA□
	F□E□ CENTE□	F□E□STAT□N/ C□N□EN ENCE CENTE□	F□E□STAT□N/ C□N□EN ENCE CENTE□
□□N N□			
	□□N N□ DES□NAT□N	PC - P□ANNED C□MME□C A□	PC - P□ANNED C□MME□C A□

GRAPHIC LEGEND

EXISTING NOTE	T□P CA□N□TE TE□T	P□□P□SED N□TE
	P□□PE□T□/□EASE □NE	
	AD□ACENT □□T □INE	
	B□□D N□ □ □ PA□□N□ SETBAC□	
	□M□TS □F D ST□□BANCE	LOD LOD
	C□□B □ □□TTE□	
	SP□□ C□□B	
	F□□SH C□□B	
	PA□□N□ C□□NT	
	PA□EMENT ST□P N□ - 4" SS □□	
	□T□□T□ P□□E/□□HT	
	ST□P S□□N	
	ADA ACCESS B□E PA□□N□ S□□N	
	PA NTED ST□P BA□	STOP
S	SAN TA□□ MANH□□E	
D	ST□□M MANH□□E	
	ST□□M N□ET / CATCH BAS N	
	□ ATE□ □A□□E	
NW	□ ATE□ METE□	
	T□EE	



LOCATION MAP
SCA□E□N.T.S.

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
PROGRAM MANAGEMENT
TELECOMMUNICATIONS SERVICES
SUSTAINABLE DESIGN

□EH□H A□E□ PA
S□THEASTE N PA
□EH□STON, TEXAS □E
BA□T□M□E MD
S□THE N MA□□AND
N□ □E□SE N□
CENT□A□□□□ N/A
PH□ADE PH A, PA
FL□RIDA
S□THF□□ DA
TA MPA F□□A
SA□□AS FT □□□TH, T□

THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WHICH IMPERMISSIBLY INCORPORATED FROM THIS PLAN WITHOUT THE WRITTEN CONSENT OF BOHLER ENGINEERING

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D N□ □□CAT□N □E□S□N	M□H

811
□N□□ □HAT'S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

N□T APP□□□ED F□□ C□NST□□CT□N

P□□□ECT No.□ TD178006
D□A□N B□□ M□H
CHEC□ED B□□ D□C
DATE□ 2/14/18
SCA□E□ 1"□50□
CAD □D□ SP0

P□□□ECT□

PROP. SITE PLAN DOCUMENTS

FOR

Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E□□N A□E□□□D□ES
□CENSE N□MBE□117874

SHEET T□T□E□

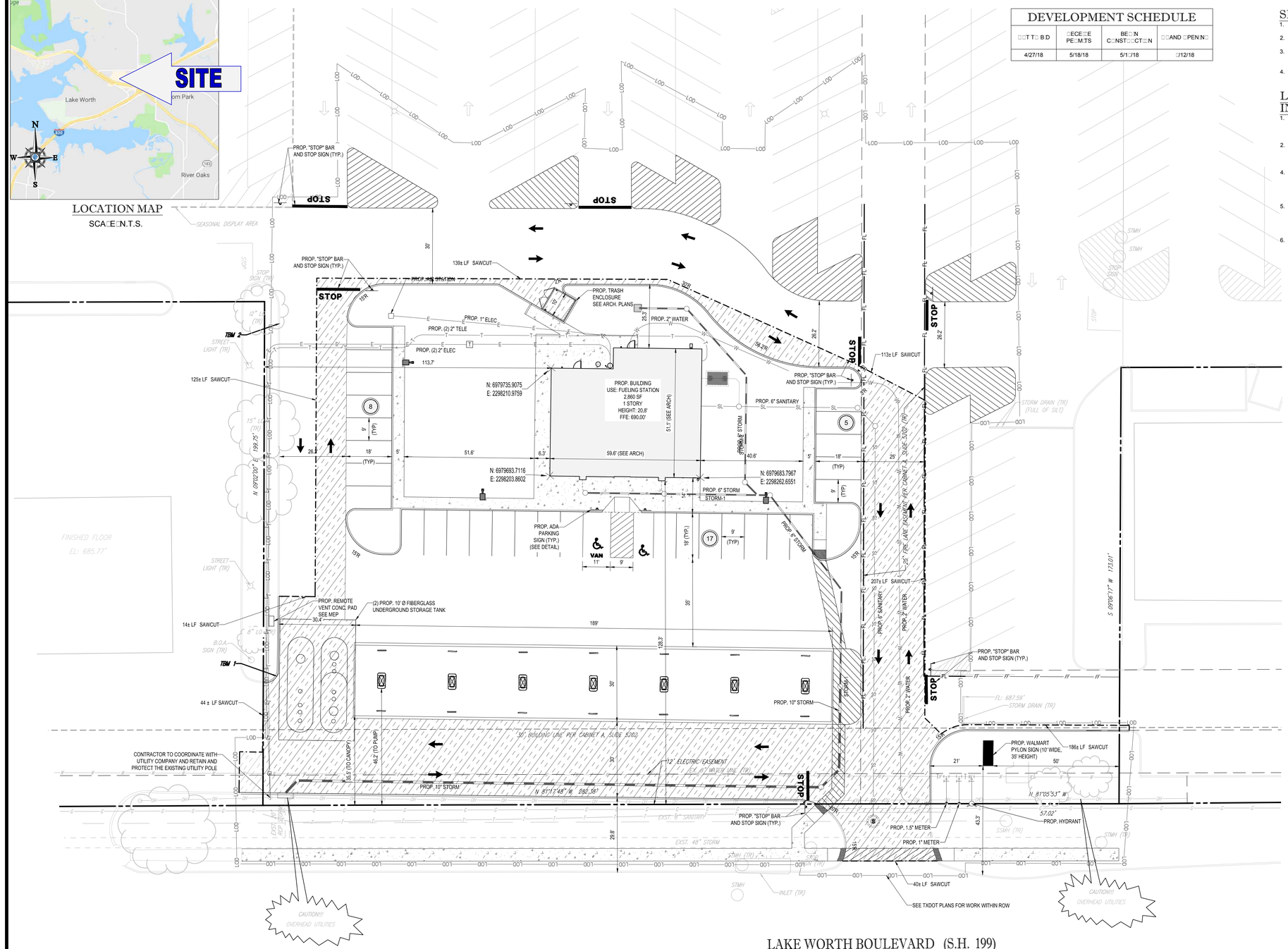
DEVELOPMENT PLAN

SHEET N□MBE□□

C-3.0

H:\TD178006\D□A□N□S\P□AN SETS\TD178006SP0(□□E□A□□)D□□ P□□NTED B□□MHA□BE□T 4-06-18 □ 10:06 AM □AST SA□ED B□□C□□NES

LOCATION MAP
SCA□E□N.T.S.



LAKE WORTH BOULEVARD (S.H. 199)
(A 150' PUBLIC RIGHT-OF-WAY)

DEVELOPMENT SCHEDULE

□□T T□ B□D	□ECE□□E PE□M□TS	BE□□N C□NST□□CT□□N	□□AND □PEN□N□
4/27/18	5/18/18	5/1□/18	□/12/18

SITE PLAN NOTES:

1. SEE SHEET C-1.1 F□□ □ENE□A□N□TES
2. SEE SHEETS C-7.0 TH□□□□H C-7.3 F□□ DETA□S
3. A□□D MENS□□NS A□E F□□M FACE □F C□□B □□ FACE □F B□□D N□□ □N□ESS N□TED □THE□□ □SE
4. A□□C□□B □AD□A□E 4□□N□ESS N□TED □THE□□ □SE

LAND USE AND ZONING INFORMATION AND NOTES:

1. S□□□E□□□□ □□HN C□□□AN □ASS□C□ATES, INC. 10147 C□□□NT□ □□□AD 135 F□□NT, T□ 75762
2. APP□□CANT□ □ A□MA□T 2001 SE 10th ST BENT□□N□□□E, A□ 72716
4. □□NE□□ S□□E□MAN BENED□CT A ATTENT□□N□C□□MCA□ED □EA□T□ 300 71ST S□□TE 448 M□AM□BEACH, F□33141
5. PA□CE□□ PPN: 80674143 TA□□ANT C□□NT□ □A□E □□□TH, T□ 76135 E□□ST□N□ A□EA□21.01 AC P□□P□SED A□EA□21.01 AC
6. □□NED□ PC - P□ANNED C□MME□C A□

B□□□ □E□□□EMENTS□		□E□□□ED	P□□P□SED
M□N. B□□D□N□ SETBAC□			
	F□□NT □A□D	30□	128.3□
	S□DE / □EA□ □A□D	N/A	113.7□
PA□□N□ □E□□□EMENTS			
	F□E□STAT□N, 5 SPACE / 1,000 SF	15	30
	□ETA□□, 5 SPACE/1,000 SF	1,115	868
	PA□□N□ D□MENS□NS	□x 18□	□x 18□
	M□N. A□S□E □ □DTH (T□ □-□ A□)	24□	24□
□AND □SE			
	□ A□MA□T	□ETA□	□ETA□
	F□E□CENTE□	F□E□STAT□N/ C□N□EN ENCE CENTE□	F□E□STAT□N/ C□N□EN ENCE CENTE□
□□N□N□			
	□□N□N□ DES□NAT□N	PC - P□ANNED C□MME□C A□	PC - P□ANNED C□MME□C A□

GRAPHIC LEGEND

EXISTING NOTE	T□P CA□N□TE TE□T	P□□P□SED N□TE
	P□□PE□T□/□EASE □NE	
	AD□ACENT □□T□□NE	
	B□□D□N□ □□ PA□□N□ SETBAC□	
	□M□TS □F D□ST□□BANCE	LOD LOD
	C□□B □ □□TTE□	
	F□□SH C□□B	
	□NDE□□□□□ND □ ATE□ □NE	W W
	□NDE□□□□□ND E□ECT□□C □NE	E E
	□NDE□□□□□ND TE□EPH□NE □NE	T T
	ST□□M SE□ E□	
	SAN□TA□□ SE□ E□ □ATE□A□	SL
	PA□□N□ C□□NT	##
	PA□EMENT ST□P N□□ - 4" SS□□	
	□T□□T□ P□□E/□□HT	
	ST□P S□N □N□ESS □THE□□ □SE N□TED	
	PA□NTED ST□P BA□	STOP
	SAN□TA□□ MANH□□E	S
	T□EE	
	ST□□M □N□ET / CATCH BAS□N	
	□ ATE□ METE□	
	H□D□ANT	
F F	F□E □ANE	F□ F□

PAVEMENT LEGEND

	DE□NEATES P□□P□SED HEA□□ D□T□ C□NC□ETE PA□EMENT
	DE□NEATES P□□P□SED C□NC□ETE S□DE□ A□□
	DE□NEATES P□□P□SED STANDA□D D□T□ C□NC□ETE PA□EMENT

N□ PA□N□ □S T□ BE D□NE □□TS DE □F P□□P□SED SA□ C□T □NE

TEMPORARY BENCHMARKS

TBM □1
N□6□7□631.8□73□
E□22□8084.7517□
E□E□□685.5□□
DESC□□□C□T□N C□NC□ETE C□□B/□□TTE□

TBM □2
N□6□7□76□□542□
E□22□8107.3227□
E□E□□688.73□
DESC□□□C□T□N C□NC□ETE C□□B/□□TTE□

20 10 5 0 20
1"□20□

H:37 TD178006 D□A□ N□S P□AN SETS TD178006SP0 D□□ P□NTED B□MHA□BE□T 4 06.18 □ 10:04 AM □AST SA□ED B□□C□□NES

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
TRANSPORTATION SERVICES
LAND SURVEYING
SUSTAINABLE DESIGN
□A□E□H, NC
CHA□LOTTE, NC
□A□LEIGH, □A
TAMPA, F□
S□TH F□□ DA
SA□TA FE, □M
□PSTATE NE□ □□□□
NE□ EN□AND
NE□ STON, MA
NE□ □E□SEY
□EH□H, A□E□ PA
S□THEASTERN PA
□H□LADELPHIA, PA
BA□TIM□RE, MD
S□THE N MA□□AND
N□W JERSEY
CENT□A□□□□ N/A
PH□ADE PH□A, PA
THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION FROM BOHLER ENGINEERING

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D□N□ □□CAT□□N □E□S□□N	M□H

811
□N□□ □HAT S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
□s fast. □s free. □s the law.

N□T APP□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□ TD178006
D□A□N B□□ M□H
CHEC□ED B□□ D□C
DATE□ 2/14/18
SCA□E□ 1"□20□
CAD □D.□ SP0

P□□□ECT□

PROP. SITE PLAN DOCUMENTS

FOR

Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone: (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□□18065

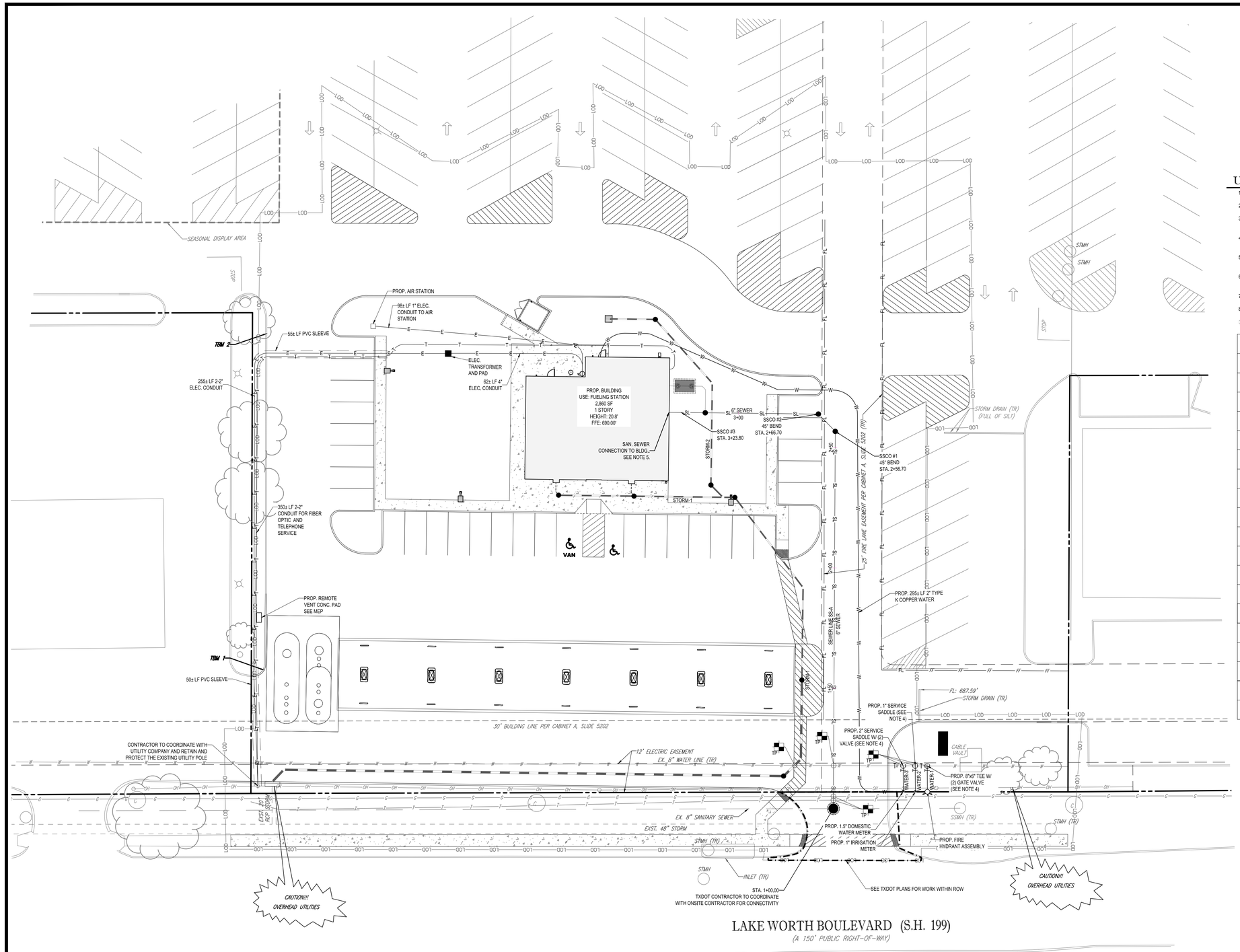
PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□□□D□ES
□□CENSE N□MBE□□117874

SHEET T□T□E□

SITE PLAN

SHEET N□MBE□□

C-3.1



UTILITY NOTES:

1. SEE SHEET C-1.1 F□□ □ENE□A□□T□□T□ N□TES.
2. SD□ 35 P□C P□PE SHA□□BE □SED F□□ A□□ SAN□TA□□ P□P□N□ □P T□ A DEPTH □F 15 FEET.
3. P□C SE□□E□ P□PE AND F□TT□N□S SHA□□ C□NF□□M T□ THE C□□□ENT ASTM DES□NAT□□N D 3034 F□□ 4" TH□□□□H 15" AND ASTM DES□NAT□□N F 67□F□□ □□EATE□ THAN 15".
4. C□NT□ACT□□ T□ □BTA□N AN□ NECESSA□□ PE□M□TS AND C□□□□D□NATE □□TH C□T□ AND AD□ACENT P□□PE□T□ □□ NE□S F□□ AN□ ANT□C□PATED SE□□□CE D□S□□PT□□N.
5. C□NT□ACT□□ T□ P□□□DE NECESSA□□ F□TT□N□S T□ C□NNECT T□ B□□D□N□ SE□□CE, SEE A□CH□TECT□□A□AND M.E.P. P□ANS F□□THE□ DETA□□.
6. C□NT□ACT□□ T□ □BTA□N A□□T□□T□ PE□M□TS P□□□□ T□ BE□NN□ C□NST□□CT□□N. A SEPA□ATE T□D□T PE□M□T S□E□□□□ED F□□ A□□□T□□T□ □ □□□ □ TH□N THE T□D□T □□□□.
7. SEE □ATE□ P□□F□E □N C-4.1 F□□ □E□T□CA□DES□□N □NF□□MAT□□N.
8. SEE SE□□E□ P□□F□E □N SHEET C-4.1 F□□ □E□T□CA□DES□□N □NF□□MAT□□N.
9. □ ATE□ SE□□CE □NES SHA□□BE T□PE □ C□PPE□, AS SPEC□F□ED □N ASTM B88.

UTILITY LEGEND

EXISTING NOTE	T□P□CA□N□TE TE□T	P□□P□SED N□TE
W W	□NDE□□□□□□ND □ATE□ □NE	W W
E E	□NDE□□□□□□ND E□ECT□□C □NE	E E
C C	□NDE□□□□□□ND □AS □NE	
OH OH	□□E□HEAD □ □□E	
T T	□NDE□□□□□□ND TE□EPH□NE □NE	T T
	ST□□M SE□□E□	
	SAN□TA□□ SE□ E□ MAIN	
	SAN□TA□□ SE□ E□ □ATE□A□	SL SL
	H□D□ANT	
	SAN□TA□□ MANH□□E	S
	ST□□M MANH□□E	
	□ ATE□ □A□□E	
	□ ATE□ METE□	
	C□□B IN□ET / CATCH BASIN	
	C□EAN □□T	
	T□ANSF□□ME□	T
	TEST P□T	TP
	ST□EET □□HT	

811
□N□□ □HAT□S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
□s fast. □s free. □s the law.

N□T APP□□□ED F□□ C□NST□□CT□N

P□□□ECT No.□ TD178006
D□A□N B□□ M□H
CHEC□ED B□□ D□C
DATE□ 2/14/18
SCA□E□ 1" □ 20□
CAD □D□ □P0

P□□□ECT□ PROP. SITE PLAN DOCUMENTS FOR

Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□ 18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□□□D□ES
□□ENSE N□MBE□ 117874

SHEET T□T□E□

UTILITY PLAN

SHEET N□MBE□□

C-4.0

TEMPORARY BENCHMARKS

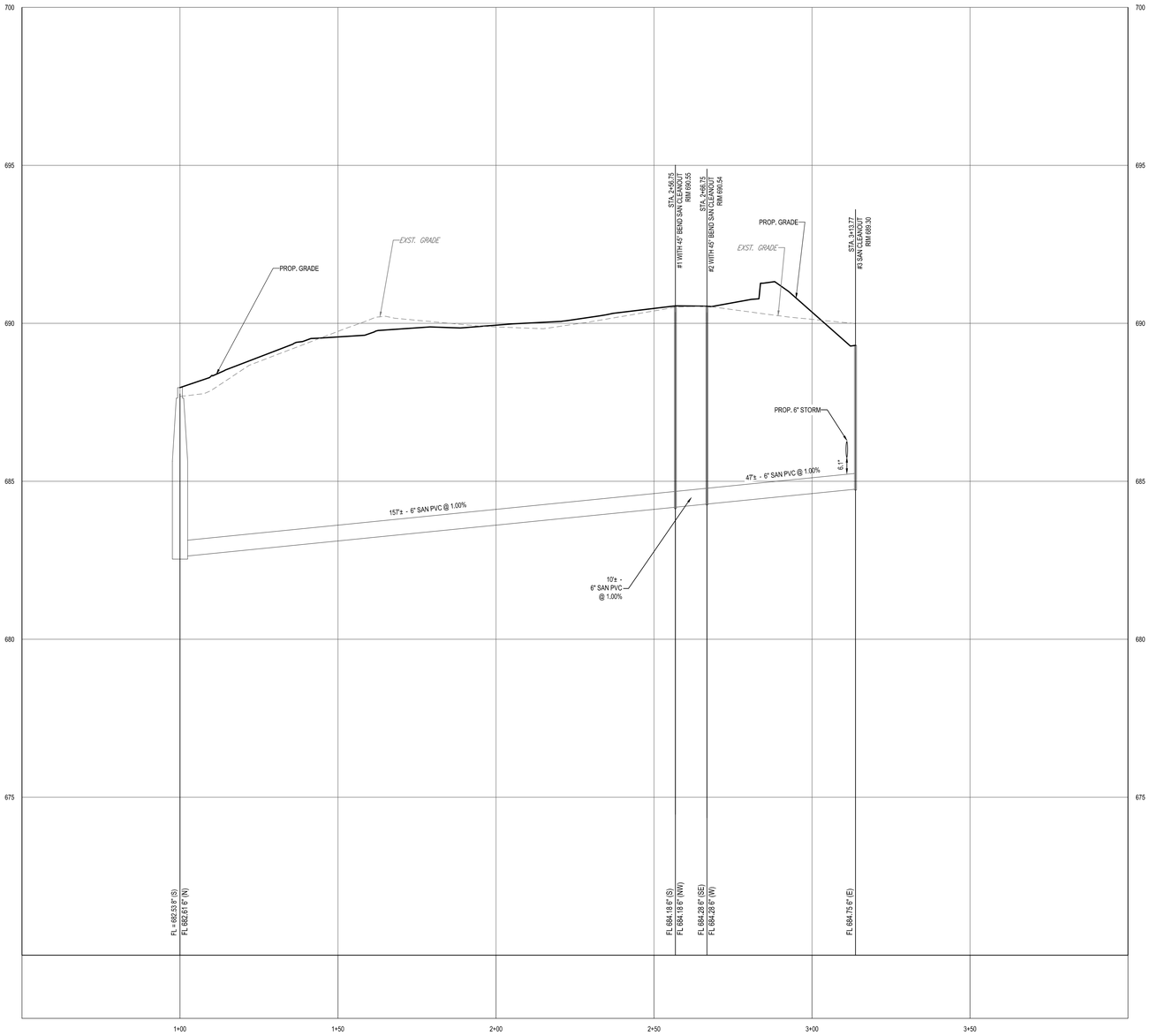
TBM □1
N□8□7□631.8□73□
E□22□8084.7517□
E□E□□685.5□□
DESC□□□C□T□N C□NC□ETE C□□B/□□TTE□

TBM □2
N□8□7□76□□542□
E□22□8107.3227□
E□E□□688.73□
DESC□□□C□T□N C□NC□ETE C□□B/□□TTE□

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN BUILDING CONSULTING SERVICES TRANSPORTATION SERVICES
□PSTATE NE□ □□□□
NE□ EN□AND SCA□E□N□MET□□
NE□ E□□SE□ N□
NE□ □□□□□
EH□H A□E□ PA
S□THEASTE□N PA
□□TH□ WEST□N□ BA□T□M□□E MD
NE□ E□□SE□ N□
NE□ □□□□□
SA□A□E□ FL
CHA□□TTE NC
□□□□□ VA
TAMPA FL
S□THF□□ DA
SA□□AS FT□□□TH, T□
THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN FOUNDATION FROM BOHLER ENGINEERING

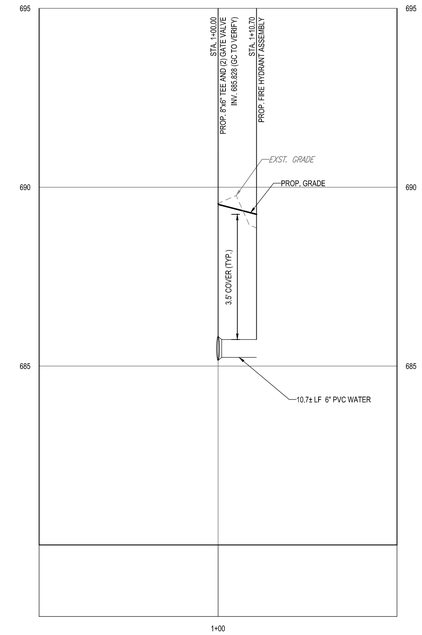
REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D N□ □□CAT□N □E□S□N	M□H



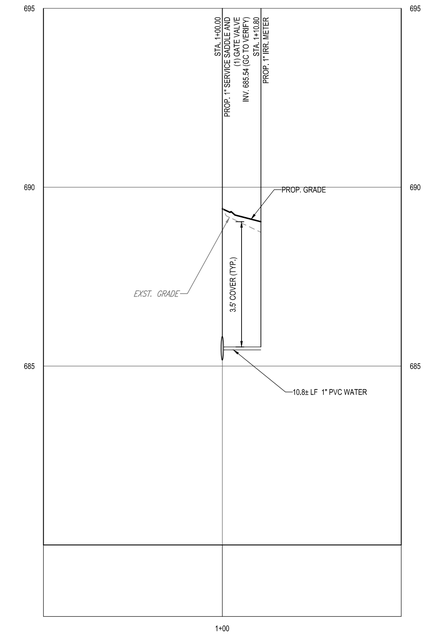
SEWER LINE SS-A

SCALE: 1"= 20 ' HORIZONTAL
1"= 2 ' VERTICAL



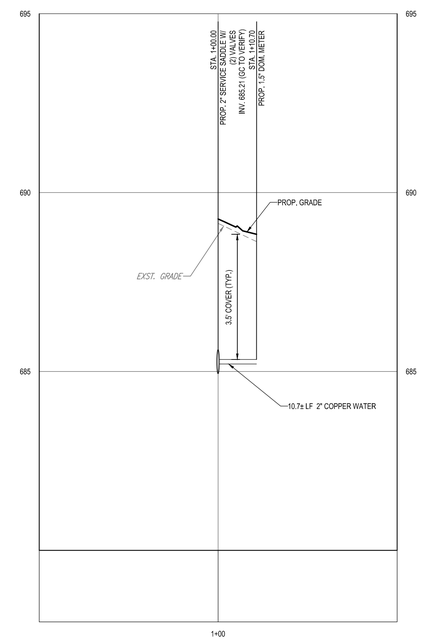
WATER-1

SCALE: 1"= 20 ' HORIZONTAL
1"= 2 ' VERTICAL



WATER-2

SCALE: 1"= 20 ' HORIZONTAL
1"= 2 ' VERTICAL



WATER-3

SCALE: 1"= 20 ' HORIZONTAL
1"= 2 ' VERTICAL

UTILITY NOTES:

1. SEE SHEET C-1.1 F□□ □ENE□A□□T□□T□ N□TES.
2. SD□ 35 P□C P□PE SHA□□BE □SED F□□ A□□SAN:TA□□ P:P:N□ □P T□ A DEPTH □F 15 FEET.
3. P□C SE□ E□ P□PE AND F:TT:N□S SHA□□C□NF□□M T□ THE C□□□ENT ASTM DES□□NAT□□N D 3034 F□□ 4" TH□□□□H 15" AND ASTM DES□□NAT□□N F 67□F□□ □□EATE□ THAN 15".
4. C□NT□ACT□□ T□ □BTA:N AN□ NECESSA□□ PE□M:TS AND C□□□D:NATE □ TH C:T□ AND AD□ACENT P□□PE□T□ □□ NE□S F□□ AN□ ANT:C:PATED SE□□□CE D:S□□PT□□N.
5. C□NT□ACT□□ T□ P□□□□DE NECESSA□□ F:TT:N□S T□ C□NNECT T□ B□□D:N□ SE□□□CE, SEE A□CH:TECT□□A□ AND M.E.P. P□ANS F□□ F□□THE□ DETA□□.
6. □ ATE□ SE□□□CE □NES SHA□□ BE T□PE □ C□PPE□, AS SPEC:F:ED □N ASTM B88.

20 10 5 0 20
1"□20□

TEMPORARY BENCHMARKS

TBM □1
N□6□7□631.8□73□
E□22□8084.7517□
E□E□□685.5□□
DESC□□□C□T□N C□NC□ETE C□□B/□□TTE□

TBM □2
N□6□7□76□□542□
E□22□8107.3227□
E□E□□688.73□
DESC□□□C□T□N C□NC□ETE C□□B/□□TTE□

BOHLER ENGINEERING™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN ENERGY MODELING TRANSPORTATION SERVICES
□PSTATE NE□ □□□□
NE□ EN□AND
NE□ST□N MET□□
NE□ □E□SE N□
NE□ □E□SE
EH□H □A□E□ PA
S□THEASTE□N PA
□H□TH□SBURGH DE
BA□T□M□□E MD
S□THE N MA□□AND
N□RTHWA□ NJ
CENT□AL□□□□ N/A
A□E□H NC
CHA□□TTE NC
RALEIGH□ NC
S□THF□□ DA
TAMPA FL
S□THF□□ TH T□
SA□□AS FT□□□TH TX
THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING PROFESSIONAL SERVICES CORPORATION OR ITS AFFILIATES

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D:N□ □□CAT□□N □E□S□□N	M□H

811
□N□□ □HAT S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
□S fast. □S free. □S the law.

N□T APP□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□ TD178006
D□A□N B□□ M□H
CHEC□ED B□□ D□C
DATE□ 2/14/18
SCA□E□ 1"□20□
CAD □D□ □P0

P□□□ECT□

PROP.
SITE PLAN
DOCUMENTS
FOR

Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□□18065

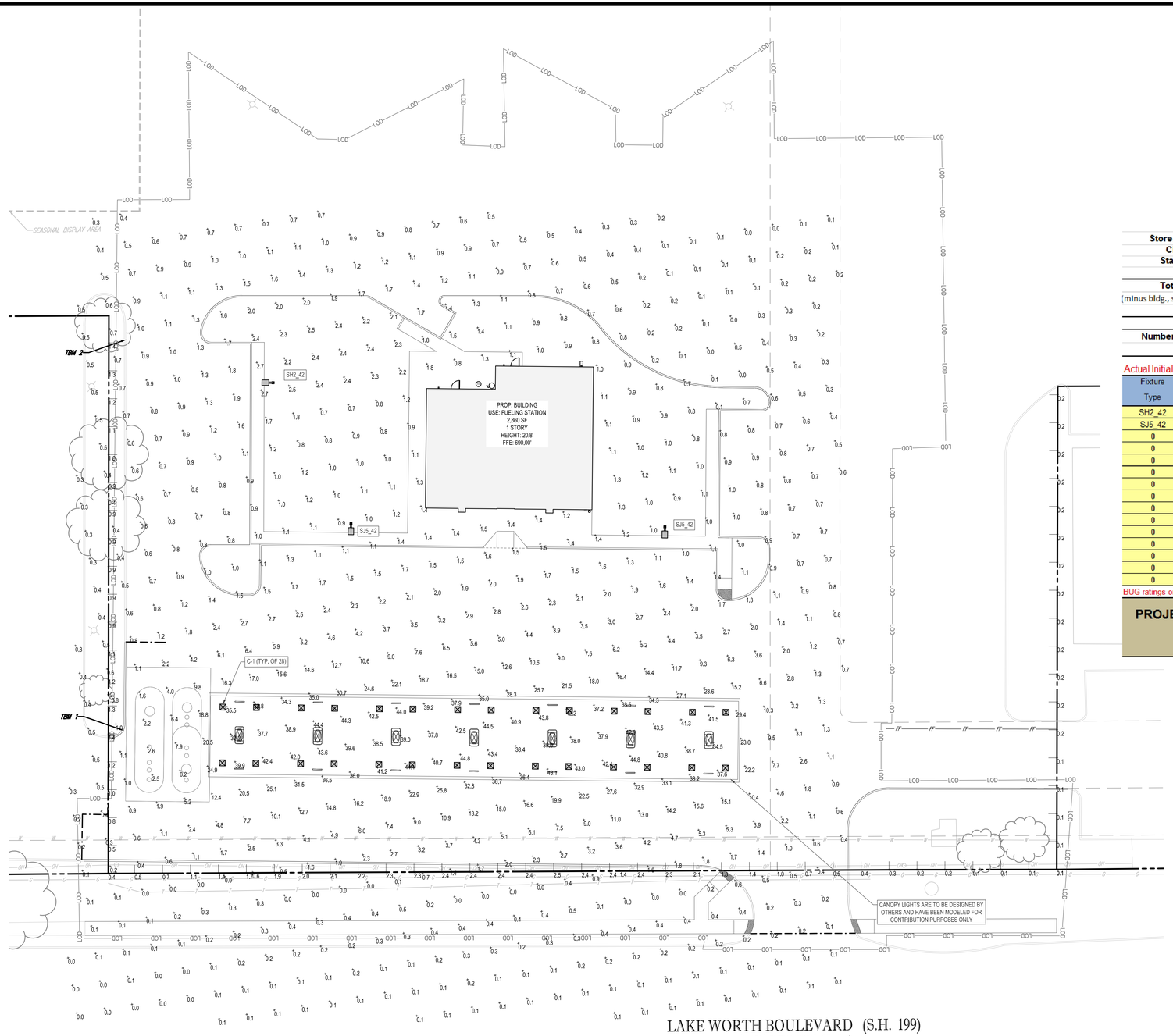
PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E□□N□A□E□□□D□ES
□CENSE N□MBE□□117874

SHEET T□T□E□

UTILITY
PROFILES

SHEET N□MBE□□

C-4.1



LAKE WORTH BOULEVARD (S.H. 199)

(A 150' PUBLIC RIGHT-OF-WAY)

20 10 5 0 20

1"□20□

Store #:	972
City	Lake Worth
State	TX

Total Area in Square Feet	
minus bldg., sidewalk, canopies, Garden Ctr., etc.	
41,813	Square Feet

Number of Parking Area Entrances	
0	Entrances

MLO ALLOWANCES

based on MLO release June 15, 2011

Allowable Lumens per Sq/Ft Hardscape (Initial)	5	Lumens
Addit. Allowable Lumens per Entrance (Initial)	600	Lumens
Addit. Lumen Allowance For Entrances (Initial)	0	Lumens
Site Total Allowable Lumens (Initial)	**209,065**	Lumens

Actual Initial Lumens Installed

Fixture Type	B-U-G Rating	#Luminaires per pole or # wall packs	# Poles For wall packs use "0"	Watts per Arrangement	Initial Lumens per Arrangement	Total Watts	Total # of Luminaires	Total Lumens
SH2_42	B3-U0-G3	1	1	183	20800	183	1	20,800
SJ5_42	B5-U0-G3	1	2	220	25000	440	2	50,000
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0

BUG ratings on this calculator may differ from BUG on the design due to TM-15 update mid 2011

PROJECT IS COMPLIANT?	Total Poles	Light Power Density (LPD)	Lumens per Watt (LPW)	Total Watts	Total Luminaires	Total Lumens
YES	3	0.0149	114	623	3	70,800

□ED STAT□ST□CS SH□□ N A□E AT 50000 H□□□S □□5 □AT N□ (□12 □EA□S □ 12 H□S/DA□).
□□5 □□PE□AT□N□ H□□□S AT □H□CH AN A□E□A□E □F 5□ □F N□T□A□□□MENS HA□E BEEN □□ST□N A TESTED P□P□□AT□N □F □ED P□ATF□□□MS.
THE P□P□□AT□□N ST□□EM□TS □5□ □F N□T□A□□□MENS. THE □□M NA□□E HAS N□T FA□□ED. □T□S ST□□□□PE□AT□N□ □□TH A □□ED □□HT □□TP□T.
□N C□MPA□□S□N, N□N□□ED □□M NA□□ES A□E □ATED □□TH MEAN □□MENS MEAS□□ED AT 40-50□ □F □ATED □□FE, DEPEND□N □ □N TECHN□□□□□, AND □ATED □FE □F B50, □ HE□E B50 □□PE□AT□N□ H□□□S AT □ H□CH 50□ □F
A TESTED P□P□□AT□□N □F □AMPS HA□E FA□□ED.
□ A□MA□□T HA□□DSCAPE □41,813 S□□ FT.

Calculation Summary Illuminance Foot-candles					
□abel	Avg	Max	Min	Avg/Min	Max/Min
P□□P □NE □E□T E	0.17	0.2	0.1	1.70	2.00
P□□P □NE □E□T S	1.44	2.5	0.1	14.40	25.00
P□□P □NE □E□T □	1.02	1.4	0.4	2.55	3.50
F□E□ □□NE	22.17	44.8	1.1	20.15	40.73
PA□□□N□ □□NE	2.2□	5.6	0.8	2.86	7.00

□uminaire Schedule									
Symbol	□ty	□abel	Arrangement	□□F	Description	Arr. □atts	Arr. □um. □umens		B□□ □ating
	1	SH2□42	S:N□□E	0.855	1-EA□P015H2AN750NDD1B□C□F 3□ft pole on 3ft base	183	20800		B3-□0-□3
	2	S□5□42	S:N□□E	0.855	1-EA□P015□5SM750NDD1B□C□F 3□ft pole on 3ft base	220	25000		B5-□0-□3
	28	C-1	S:N□□E	1.000	C□S-SC-□ED-64-H□-C□ -□E	155	135□6		B3-□0-□1

GENERAL WALMART NOTES:

1. EXISTING PARKING LOT LIGHTS HAVE NOT BEEN MODELED AS PART OF THESE CALCULATIONS.

2. TREE LOCATIONS INDICATED ON THE DRAWING AREA MODELED AS APPROVED THREE DIMENSIONAL OBJECTS T1, T2, AND T3, THAT REPRESENT THE 10 YR MATURE SIZE. THESE OBSTRUCTIONS HAVE BEEN ACCOUNTED FOR IN THE PHOTOMETRIC DESIGN.

3. GAS STATION CANOPY LIGHTS HAVE BEEN MODELED TO REDUCE THE NUMBER OF SITE LIGHTING FIXTURES AND POLES. CANOPY CONTRIBUTIONS HAVE BEEN INCLUDED IN THE PHOTOMETRIC DESIGN FOR THE FUEL OUTLOT. CANOPY LIGHTS TO BE DESIGNED BY OTHERS.

H:\37-TD178006\D□A□□N□S\P□AN SETS\TD178006 PO.D□□ □ P□□NTED B□□MHA□BE□□T 4:06:18□ 10:18 AM □AST SA□□ED B□□MHA□BE□□T

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN LEED CONSULTING TRANSPORTATION SERVICES

□PSTATE NE□ □□□□
NE□ EN□AND □□□□
NE□ STON□MA□
NE□ □T□N□MET□□
NE□ □E□SE□
NE□ □E□SE□N□

□EH□H A□□E□ PA
S□□THEASTE□N PA
□BERTSVILLE NJ
BA□T□M□□E MD
S□□THE N MA□□AND
N□RTHE□N VA
CENT□A□□□□ N/A

A□E□H NC
CHA□□□TTE NC
RALEIGH□□A
TAMPA F□□□DA
S□□TH F□□□DA
SA□□AS FT□□□TH, T□

THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN PERMISSION FROM BOHLER ENGINEERING PC, EXCEPT FOR USE BY THE OWNER OF THE PROPERTY FOR WHICH THE PLAN WAS PREPARED.

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D N□ □□CAT□N □E□S□□N	M□H

811

□N□□ □HAT'S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

N□T APP□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□ TD178006
D□A□ N B□□ M□H
CHEC□ED B□□ D□C
DATE□ 2/14/18
SCA□E□ 1"□20□
CAD □D□ □P0

P□□□ECT□

PROP. SITE PLAN DOCUMENTS

FOR

Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□□18065

PLANS PREPARED BY
BOHLER ENGINEERING

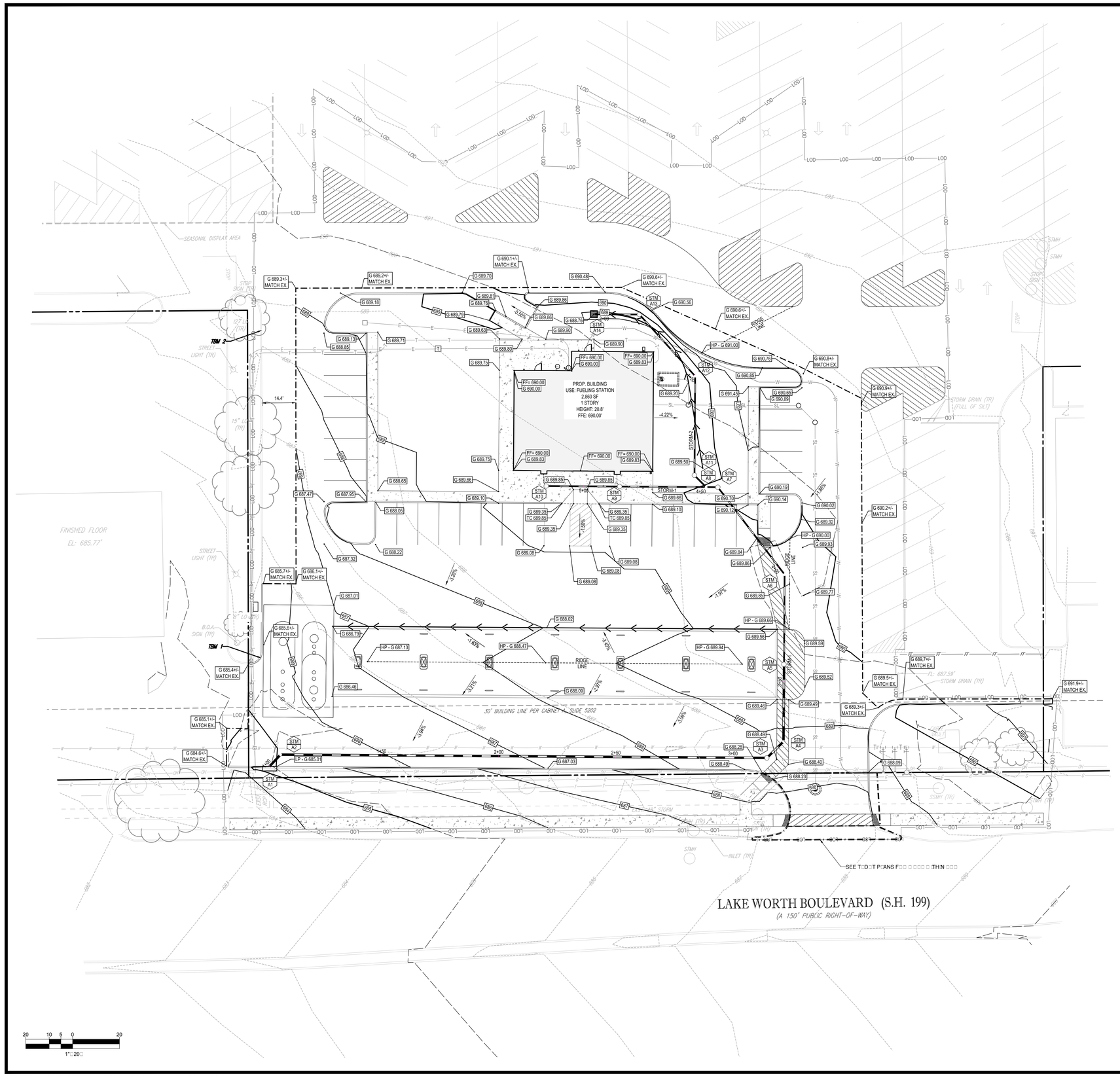
FOR REVIEW PURPOSES ONLY
□□□E□□N□A□E□□□D□ES
□□CENSE N□MBE□□117874

SHEET T□T□E□

LIGHTING PLAN

SHEET N□MBE□□

C-4.2



TEMPORARY BENCHMARKS

TBM 1
N: 6,777,631.873
E: 2,084,751.7
E.E.: 685.5
DESCRIPTION: CUT IN CONCRETE CURB/TTE

TBM 2
N: 6,777,542
E: 2,087,327
E.E.: 688.73
DESCRIPTION: CUT IN CONCRETE CURB/TTE

GRADING LEGEND

EXISTING	TITLE	PROPOSED
	PROPERTY LINE	
600	CONTOUR OR EDGE OF PAVEMENT	601
	STORM SEWER	
	SANITARY SEWER MAIN	
	SANITARY SEWER MAIN	SL SL
	DRAINAGE EASEMENT	LOD LOD
	DRAINAGE FLOW	±X.XX%
	TRAP OR SIDE AREA	TS
	TRAP OR FLOW BEAT ON	TC
	HIGH POINT OR FINISHED GROUND BEAT ON	HP -
	STREET CLEANOUT	
	CLEANOUT	
S	SANITARY MANHOLE	S
D	STORM MANHOLE	
	STORM INLET / CATCH BASIN	
	GRATE METER	
	STORM ABE	STM
	SAW CUT LINE	
	TELEPHONE LINE	T
	ELECTRIC LINE	E
	GRADE BREAK	
	SLOPE	

GRADING NOTES

1. REFER TO GENERAL NOTES SHEET C-1.1
2. THIS PLAN REFERENCES DOCUMENTS INFORMATION BASIS
   "ALTA / NSPS LAND TITLE SURVEY FOR BRIDGE PROPERTIES, INC. 10147 CROWN POINT DRIVE FORT WORTH, TX 75762 (817) 581-2238 DATED 5/12/17
3. SEE SHEET S-4.4 EXISTING CONDITIONS PLAN.
4. CONTRACTOR TO PROVIDE NECESSARY FITTINGS TO CONNECT TO BUILDING SERVICE, SEE ARCHITECT AND M.E.P. PLANS FOR THE DETAIL.
5. SEE SHEET C-5.1 AND C-5.2 FOR STORM PIPES

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN FEASIBILITY STUDIES TRANSPORTATION SERVICES
PRINCIPAL OFFICES
ALEN, TX
CHARLOTTE, NC
DENVER, CO
FORT WORTH, TX
HOUSTON, TX
MIDLAND, TX
NEW YORK, NY
PHOENIX, AZ
SAN ANTONIO, TX
TAMPA, FL
WASHINGTON, DC

THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION FROM BOHLER ENGINEERING

REVISIONS

NO.	DATE	COMMENT	BY
1	4/5/18	BOUNDARY CHANGE	MJH

811
CALL 811 BEFORE YOU DIG
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No. TD178006
DRAWN BY MJH
CHECKED BY DJC
DATE 2/14/18
SCALE 1" = 20'
CAD FILE P0

PROJECT
PROP. SITE PLAN DOCUMENTS
FOR
Walmart
Save money. Live better.

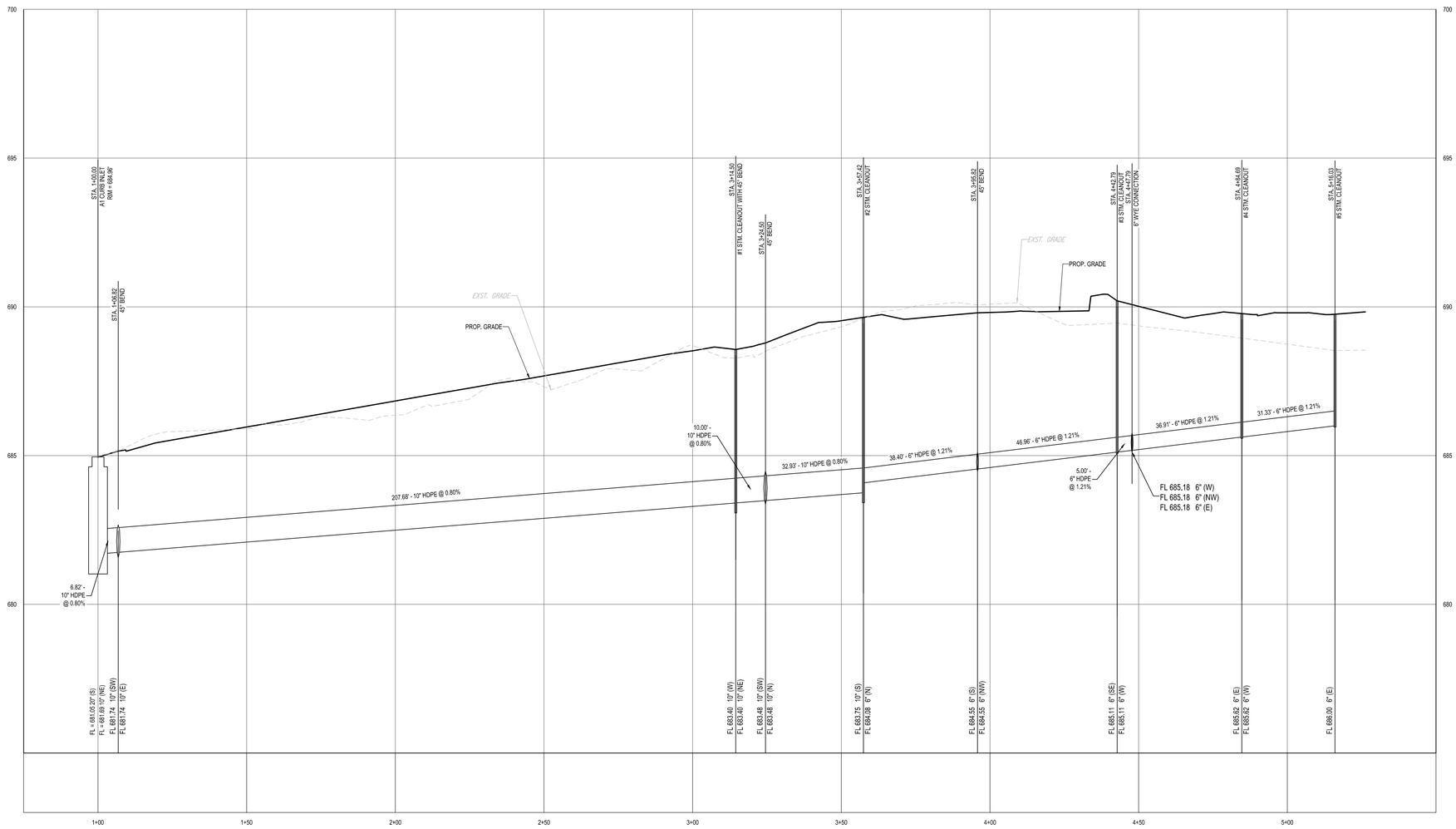
LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
DATE
LICENSE NUMBER: 11974

SHEET TITLE
GRADING & DRAINAGE

SHEET NUMBER
C-5.0



STORM-1

SCALE: 1"= 20' HORIZONTAL
1"= 2' VERTICAL

GRADING NOTES

1. □EFE□ T□ □ENE□A□N□TES SHEET C-1.1
2. TH:S P□AN □EFE□ENCES D□C□MENTS □ □NF□□MAT□N B□□

   "A□TA / NSPS □AND T□T□E S□□□E□ F□□ B□H□E□ EN□□NEE□N□ SH□□ □N□ PA□T □F □□T 1□, B□□C□□A"
   □HN C□□□ AN □ ASS□C□ATES, INC.
   10147 C□□NT□ □D 135
   F□□NT, T□ 75762
   (□03) 581-2238
   DATED□5/12/17
3. SEE SHEET S□ .4 F□□ E□□S□N C□NT□□□P□AN.
4. C□NT□ACT□□ T□ P□□□□DE NECESSA□□ F□TT□N□S T□ C□NNECT T□ B□□D□N□ SE□□□CE, SEE A□CH□TECT□□A□AND M.E.P. P□ANS F□□ F□□THE□ DETA□□.

TEMPORARY BENCHMARKS

TBM □1
N□6□7□631.8□73□
E□22□8084.7517□
E□E□□685.5□□
DESC□□□□C□T □N C□NC□ETE C□□B/□□TTE□

TBM □2
N□6□7□76□□542□
E□22□8107.3227□
E□E□□688.73□
DESC□□□□C□T □N C□NC□ETE C□□B/□□TTE□

20 10 5 0 20
1"□□20□

H:\TD178006\D□A□ N□S\P□AN SETS\TD178006□P0.D□□ P□□NTED B□□MHA□BE□T 4:06:18 □ □□:56 AM □AST SA□ED B□□C□□NES

BOHLER ENGINEERING™

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN TRANSPORTATION SERVICES

□PSTATE NE□ □□□□
NE□ EN□AND □□□□
NE□ □T□N□MET□□
NE□ □□□□E□□
NE□ □□□□E□□
EH□H □A□E□ PA
S□THEASTE□N PA
□H□TTSBU□GH PA
BA□T□M□□E MD
S□THE□N MA□□AND
N□RTHWA□□ IN N/A
CENT□A□□□□ N/A

SA□E□ □A□E□ NC
CHA□□□TTE, NC
RA□□IGH, □A
TAMPA, F□
S□□TH F□□ DA
OA□LAS FT. □□□TH, T□

THE INFORMATION AND CONTENTS OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN PERMISSION FROM BOHLER ENGINEERING PROFESSIONAL ASSOCIATES, LLC

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D□N□ □□CAT□□N □E□S□□N	M□H

811
□N□□ □HAT□S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
□S fast. □S free. □S the law.

N□T APP□□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□ TD178006
D□A□N B□□ M□H
CHEC□ED B□□ D□C
DATE□ 2/14/18
SCA□E□ 1"□20□
CAD □□D□ □P0

P□□□ECT□

PROP. SITE PLAN DOCUMENTS
FOR
Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□□18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□□□D□ES
□□CENSE N□MBE□□117874

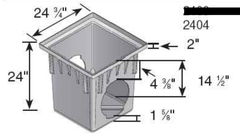
SHEET T□T□E□

STORM PROFILES

SHEET N□MBE□□

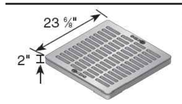
C-5.1

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
[redacted]						
2404	24" x 24" Catch Basin, 4 Openings Requires 2 or 4 #2410 Universal Outlet. (See page 25.)	Black	1	15.00	10ND	NDS #2400, #2404, 24" x 24" One-Piece Tapered Catch Basin. Structural Foam.

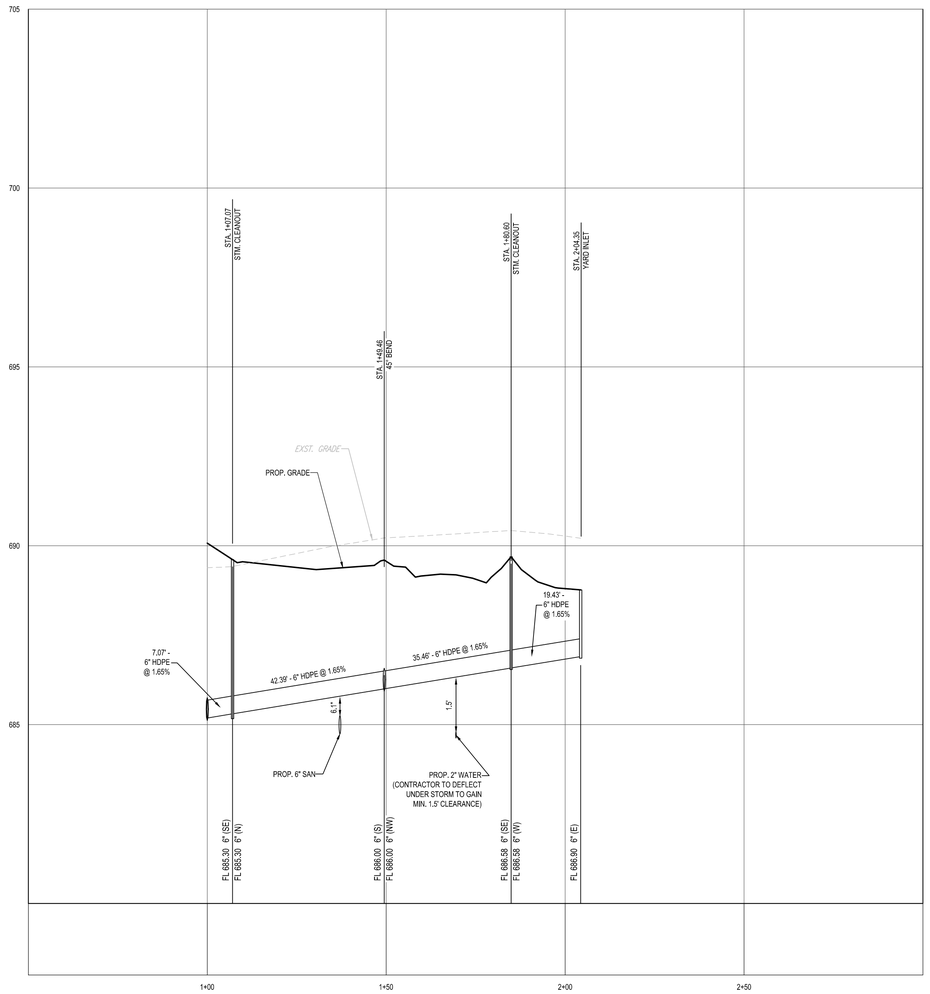


Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
2411	24" x 24" Square Grate	Black	1	19.75	10ND	NDS #2411, #2412, 24" Square Structural Foam Polyolefin Grate with UV inhibitor. Open surface area 231.69 square inches. 303.51 GPM. Structural Foam.
2412	24" x 24" Square Grate	Green	1	19.75	10ND	

Use with 24" x 24" Catch Basin Series.



⅞" Grate Opening



STORM-2

SCALE: 1"= 20 ' HORIZONTAL
1"= 2 ' VERTICAL

GRADING NOTES

1. □EFE□ T□ □ENE□A□N□TES SHEET C-1.1
2. TH□S P□AN □EFE□ENCES D□C□MENTS □ □NF□□MAT□□N B□□
   "A□TA / NSPS □AND T□T□E S□□□E□ F□□ B□H□E□ EN□ NEE□N□ SH□□ □N□ PA□T □F □□T 1□, B□□C□ A"
   □□HN C□□AN □ ASS□C□ATES, □NC.
   10147 C□□NT□ □□D 135
   F□NT, T□ 75762
   (□03) 581-2238
   DATED□5/12/17
3. SEE SHEET S□ -4 F□□ E□□S□□N C□NT□□□P□AN.
4. C□NT□ACT□□ T□ P□□□DE NECESSA□□ F□TT□N□S T□ C□NNECT T□ B□□□DN□ SE□□□CE, SEE A□CH□TECT□□A□ AND M.E.P. P□ANS F□□ F□□THE□ DETA□□.

TEMPORARY BENCHMARKS

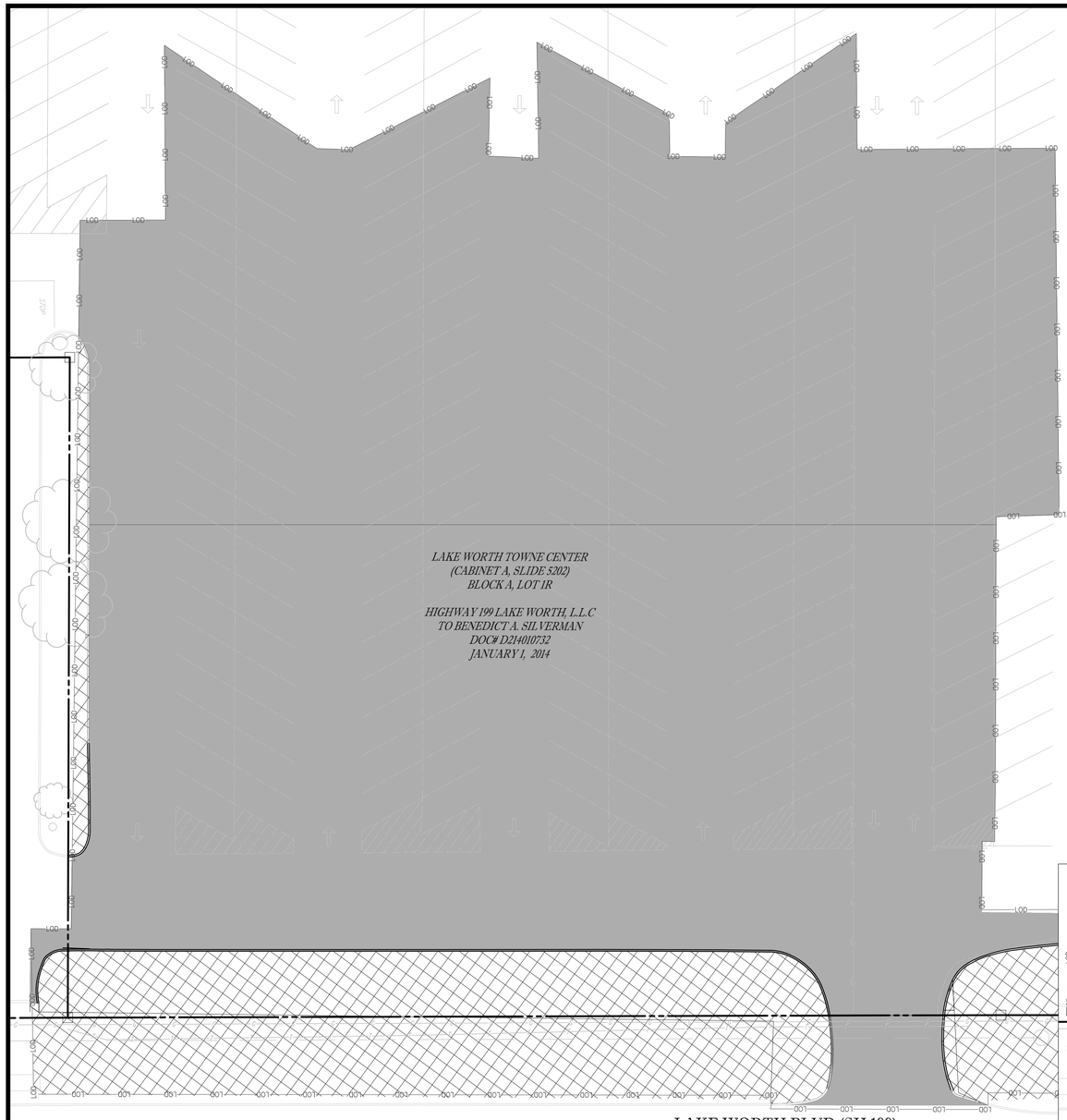
TBM □1
N□6□7□631.8□73□
E□22□8084.7517□
E□E□□685.5□□
DESC□□□□C□T □N C□NC□ETE C□□B/□□TTE□

TBM □2
N□6□7□76□□542□
E□22□8107.3227□
E□E□□688.73□
DESC□□□□C□T □N C□NC□ETE C□□B/□□TTE□

20 10 5 0 20
1"□□20□

H:\TD178006\D□A□N□S\P□AN SETS\TD178006□P0.D□□ P□□NTED B□□MHA□BE□T 4:06:18□□ □□:56 AM □AST SA□ED B□□C□□NES

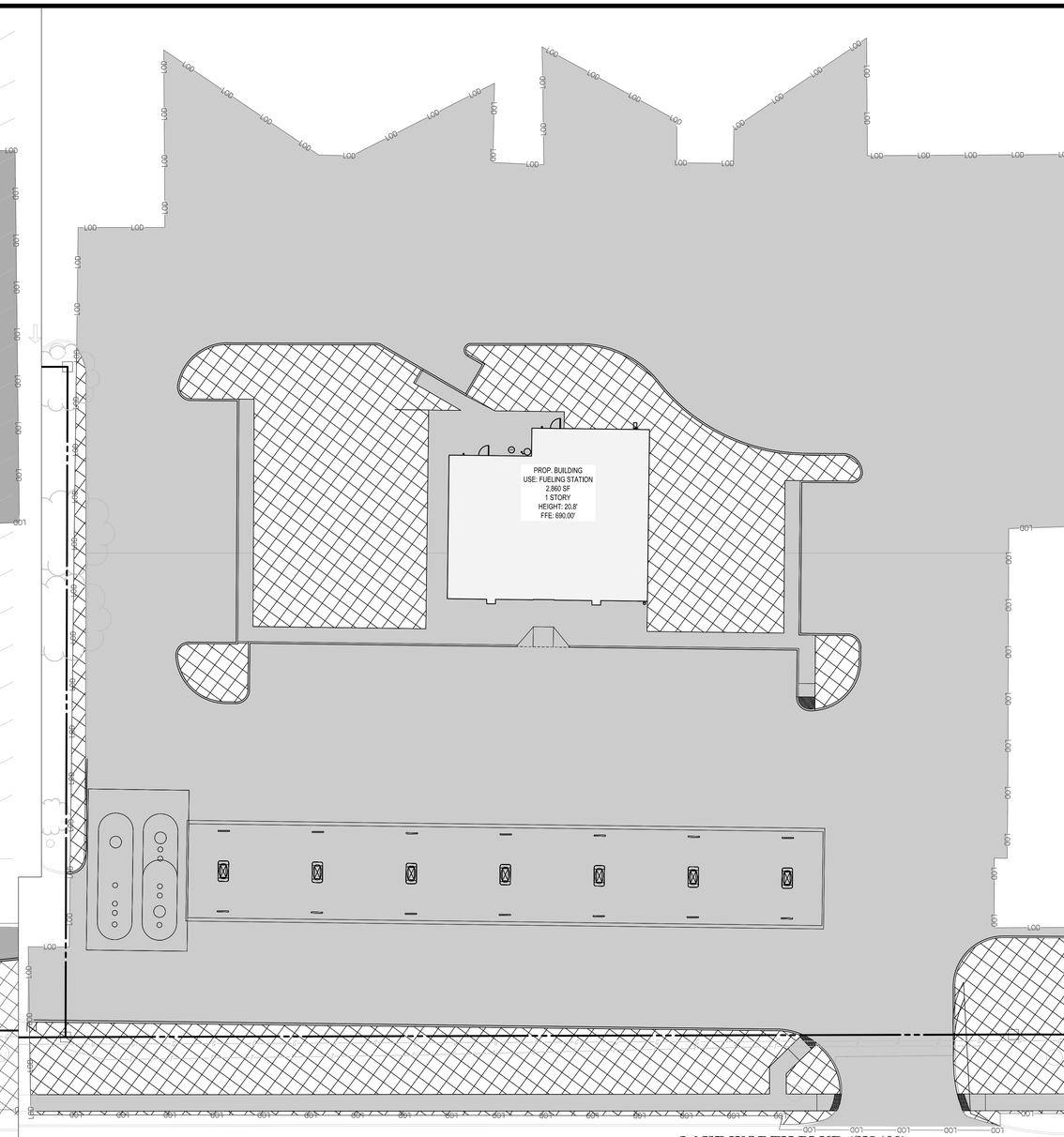
BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN FIRE PROTECTION TRANSPORTATION SERVICES
□PSTATE NE□ □□□□
NE□ EN□ AND □ST□N □MA□□□
NE□ST□N □MET□□
NE□ □E□□SE□N□
EH□H □A□E□ PA
S□THEASTE□N PA
□ST□N □MA □□□□
BA□T□M□□E MD
S□THE N MA□□AND
N□RTHWA□□ □N□A
CENT□A□□□□ N/A
□H□□□ADE PH□A PA
S□THF□□ DA
TAMPA F□□□



EXISTING CONDITIONS

IMPERVIOUS AREA

PERVIOUS AREA



PROPOSED CONDITIONS

IMPERVIOUS AREA

PERVIOUS AREA

NOTE:
POST DEVELOPMENT CONDITIONS DECREASE IMPERVIOUS AREA. THEREFORE EXISTING STORM FACILITIES ARE ASSUMED TO MEET AND EXCEED CAPACITY REQUIREMENTS.

IMPERVIOUS AREA CALCULATIONS

	PRE-DEVELOPMENT CONDITIONS	POST-DEVELOPMENT CONDITIONS
TOTAL AREA	1.83± AC	1.83± AC
PERVIOUS	0.16± AC (7.4%)	0.23± AC (12.6%)
IMPERVIOUS	1.67± AC (92.6%)	1.60± AC (87.4%)
TOTAL PERCENT REDUCTION IN IMPERVIOUS FROM PRE-DEVELOPMENT CONDITION	N/A	5.2%

N
W E
S
20 10 5 0 20
1"□20□

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
ENERGY MANAGEMENT
TELECOMMUNICATIONS SERVICES
PSTATE NE□ □□□
NE□ EN□ AND SCIENCE MA
NE□ □□□ MET□□
NE□ □□□ E□□
PH□ ADE PH.A. PA
EH□H □A□E□ PA
S□THEASTE□N PA
ZIP□ □□TH□ BOX DE
BA□TIM□□E MD
S□THE□N MA□□AND
N□THEA□ VA
CENT□A□□□□ N/A
A□E□H NC
CHA□□TTE NC
ATLANTA GA
TAMPA F□□A
S□□TH F□□ DA
DALLAS FT□□□TH, T□
THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WHICH WOULD BE DETRIMENTAL TO BOHLER ENGINEERING PC

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D□N□ □□CAT□N □E□S□N	M□H

811
□N□□ □HAT'S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
□s fast. □s free. □s the law.

N□T APP□□□ED F□□ C□NST□□CT□N

P□□□ECT No.□	TD178006
D□A□ N B□□	M□H
CHEC□ED B□□	D□C
DATE□	2/14/18
SCA□E□	1"□20□
CAD □D.□	S□0

P□□□ECT□
PROP.
SITE PLAN
DOCUMENTS
FOR
Walmart
Save money. Live better.

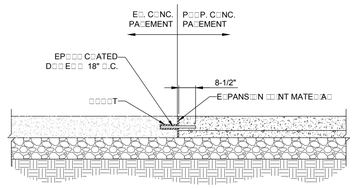
LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□□18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□□□D□ES
□□CENSE N□MBE□□117874

SHEET T□T□E□
STORM WATER COMPLIANCE PLAN
SHEET N□MBE□□
C-6.0

H:\TTD178006\D□A□ N□S\P□AN SETS\TD178006S□ 0.D□ □ P□NTED B□□MHA□BE□T 4.05.18 □ 4:37 PM □AST SA□ED B□□MHA□BE□T

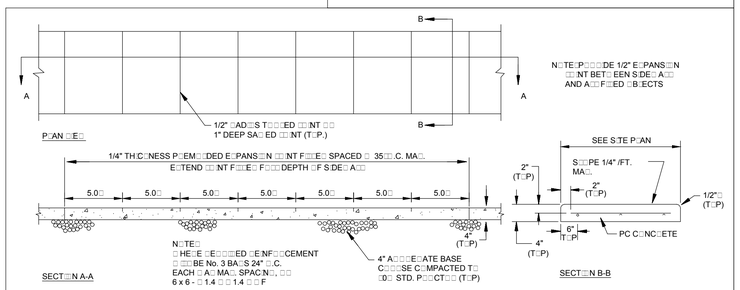


NOTE:

1. C□NT□ACT□□ T□ B□□□ □□T D□ST F□□M D□□□ED H□ES P□□□ T□ APP□□N□ □□□□T.

CONCRETE DOWELING DETAIL

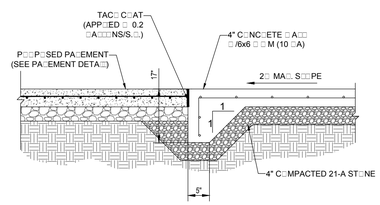
N□T T□ SCA□E



CONCRETE SIDEWALK

N□T T□ SCA□E

DT□ A□□PC	12/17/04	

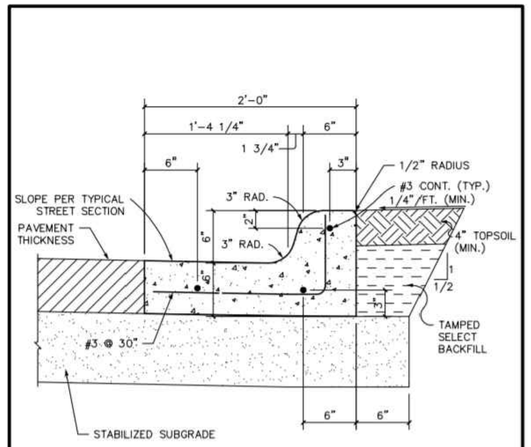


NOTE:

1. C□NC□ETE T□ BE 4000 P.S.□□ 28 DA□S.

MONOLITHIC CURB & FLUSH SIDEWALK DETAIL

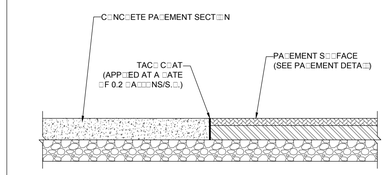
N□T T□ SCA□E



NOTES:

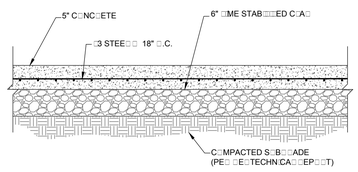
1. CONTRACTOR MAY OMIT TRANSVERSE #3 REBAR IF PLACING CURB AND GUTTER MONOLITHICALLY.
2. REINFORCED CONCRETE SHALL BE MINIMUM 3,600 PSI @ 28 DAYS

City of Lake Worth Texas	PAVING CONSTRUCTION DETAILS STANDARD CURB AND GUTTER	REVISED MAY 2006 SCALE: 1/2" = 1' SHEET: P-4



CONCRETE-TO-ASPHALT DETAIL

N□T T□ SCA□E

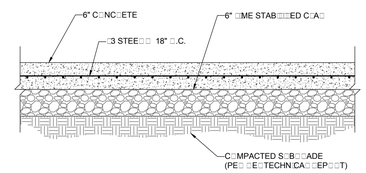


NOTE:

1. SECT□□N SH□□ N□S BASED □N □E□TECHN□CA□ □EP□□T P□EPA□ED B□ECS S□□TH□ EST, □P, ENT□TLED "□E□TECHN□CA□EN□ □NEE□N□ □EP□□T F□□ F□E□ STAT□□N □72, DATED 5/17/17 (P□□ECT □1□7120). F□NA□DES□N T□ BE P□□□DED □NCE F□NA□CB□S A□E A□A□AB□E □N C□MPACTED S□B-BASE.

STANDARD DUTY CONCRETE SECTION

N□T T□ SCA□E

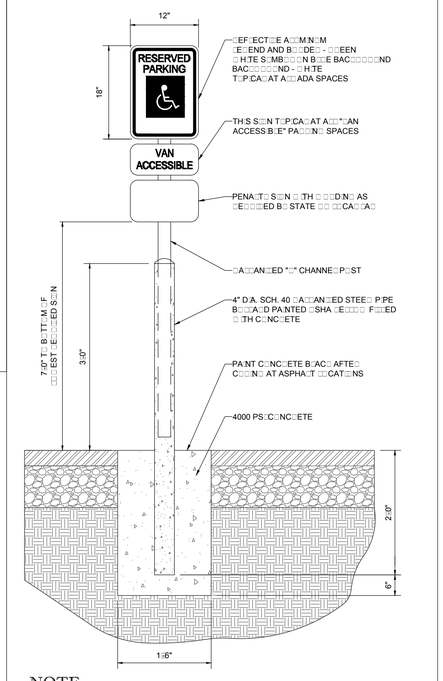


NOTE:

1. SECT□□N SH□□ N□S BASED □N □E□TECHN□CA□ □EP□□T P□EPA□ED B□ECS S□□TH□ EST, □P, ENT□TLED "□E□TECHN□CA□EN□ □NEE□N□ □EP□□T F□□ F□E□ STAT□□N □72, DATED 5/17/17 (P□□ECT □1□7120). F□NA□DES□N T□ BE P□□□DED □NCE F□NA□CB□S A□E A□A□AB□E □N C□MPACTED S□B-BASE.

HEAVY DUTY CONCRETE SECTION

N□T T□ SCA□E

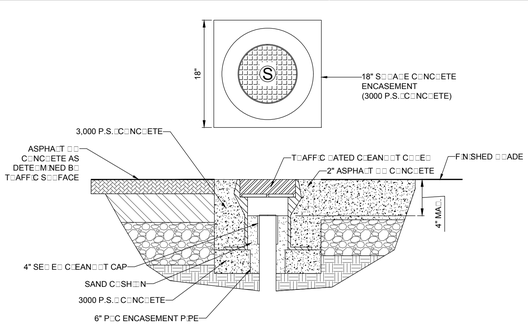


NOTE:

□NE AT EACH ADA SPACE. □HE□E ADA SPACES FACE EACH □THE□ □ □TH□□T □A□□□ A□, THE□E SHA□□BE □NE P□ST □TH S□NS M□□NTED B□TH S□DES

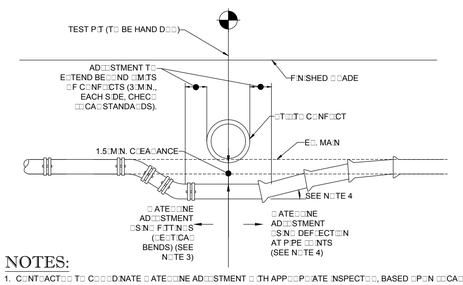
BOLLARD MOUNTED ADA PARKING SIGN DETAIL

N□T T□ SCA□E



TRAFFIC RATED CLEANOUT DETAIL

N□T T□ SCA□E



NOTES:

1. C□NT□ACT□□ T□ C□□□D□NATE □ ATE□□NE AD□□STMENT □ □TH APP□□P□□ATE □NSPECT□□, BASED □P□N □□CA□ □□□SD□CT□□NA□□E□□□EMENTS AND F□E□D C□ND□T□□NS.
2. C□NT□ACT□□ T□ HAND D□□ TEST P□T AT ANT□C PATED C□□SS□N□ □□CAT□□N T□ DETE□M□NE E□ST□N□ □ ATE□□NE DEPTH, T□TA□ □ ATE□□NE DEF□ECT□N □E□□□ED, AND BEST METH□D F□□ □ ATE□□NE AD□□STMENT.
3. □E□T□CA□BENDS (□NSTA□□ED PE□ □□CA□STANDA□DS) AS □E□□□ED.
4. P□PE DEF□ECT□N AT □□NTS (PE□ □□CA□STANDA□DS)

WATERLINE ADJUSTMENT DETAIL

N□T T□ SCA□E

H:\37-TD178006\D□A□N□S\P□AN SETS\TD178006SDo.D□□ - P□□NTED B□□MHA□BE□T 4:05:18 □□ 10:37 AM □AST SA□ED B□□MHA□BE□T

BOHLER™ ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

□PSTATE NE□ □E□ □□□□□□ □□□ B□ST□N, MA □□□□□□ME□□□ NE□ □□□□□□E□□ NE□□E□SE□

□A□E□H, NC □CHA□LOTTE, NC AT□ANTA, □A □TAMPA, F□ □□□□□□□□DA DA□AS□FT□□□□TH, T□

The information contained on this drawing is the property of BOHLER ENGINEERING. The reproduction, distribution and utilization of this drawing, or the information contained therein, without the express written authorization from BOHLER ENGINEERING, is prohibited. Only APPROVED SIGNED AND SEALED DRAWINGS, SPECIFICATIONS AND REPORTS are to be used for construction purposes or as per local ordinances.

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D□N□ □□CAT□N □E□S□N	M□H

811

□N□□ □HAT'S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

N□T APP□□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□	TD178006
D□A□N B□□□	M□H
CHEC□ED B□□□	D□C
DATE□	2/14/18
SCA□E□	AS N□TED
CAD □D□	SD0

P□□□ECT□

PROP. SITE PLAN DOCUMENTS

FOR

Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□□18065

PLANS PREPARED BY
BOHLER ENGINEERING

FOR REVIEW PURPOSES ONLY

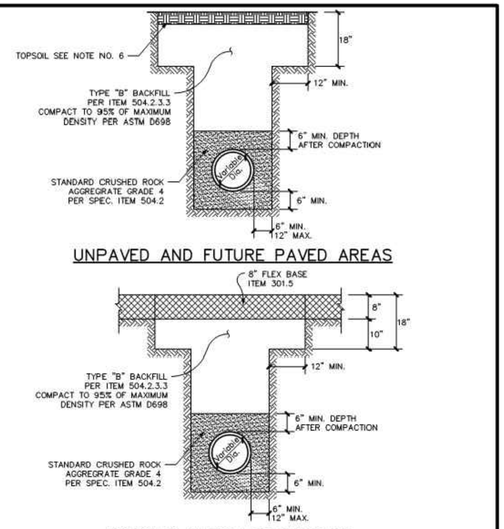
□□□E □□N□A□E□□□□D□ES
□CENSE N□MBE□□□17874

SHEET T□T□E□□

CONSTRUCTION DETAILS

SHEET N□MBE□□

C-7.0



NOTES:

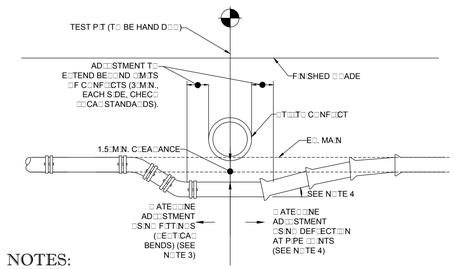
1. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY & TxDOT R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE OWNER TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
2. ALL BACKFILL SHALL BE PER SPEC. ITEM 504 AND SHALL BE COMPACTED PER SPEC. ITEM 504. ROCKS GREATER THAN 4" IN DIA. SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
3. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW-CUT LINES PER SPEC. ITEM 402.3.
4. A MAXIMUM OF 200 FT. OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY ENGINEER.
5. IN SANDY SOILS THE CRUSHED ROCK EMBEDMENT SHALL BE WRAPPED IN A FILTER FABRIC.
6. TOPSOIL SHALL BE 4 INCHES IN DEPTH AND SHALL BE LOOSE AND FREE OF ROCKS OR CLODS GREATER THAN 1/4" IN DIAMETER. ALL TOPSOIL SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.

City of Lake Worth Texas	DRAINAGE SYSTEM CONSTRUCTION DETAILS STORM SEWER EMBEDMENT & BACKFILL	REVISED MAY 2006 SCALE: 1" = 2' SHEET: D-1

GENERAL NOTES:

1. IN GENERAL, INLET REINFORCING STEEL SHALL BE #4 BARS ON 12" CENTERS BOTH WAYS FOR GUTTER, BOTTOM SLAB ENDS, FRONT AND BACK WALLS, AND #4 BARS ON 6" CENTERS BOTH WAYS FOR TOP SLAB. AN ADDITIONAL #6 BAR SHALL BE PLACED IN THE FRONT EDGE OF THE TOP SLAB IN THE INLETS AND ADDITIONAL REINFORCING STEEL SHALL BE PLACED AROUND MANHOLES AS SHOWN.
2. ALL REINFORCING STEEL SHALL BE GRADE 60.
3. ALL CONCRETE SHALL BE CLASS "A" PER ITEM 303. ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4".
4. ALL REINFORCING STEEL SHALL HAVE A MINIMUM COVER OF 2" TO THE CENTERS OF THE BARS.
5. 10'-0" OF EXISTING CURB AND GUTTER UPSTREAM AND 10'-0" OF EXISTING CURB AND GUTTER DOWNSTREAM SHALL BE REMOVED AND REPOURED INTEGRALLY WITH EACH INLET.
6. ALL BACK FILLING SHALL BE IN ACCORDANCE WITH ITEM 504 TO 95% STANDARD PROCTOR DENSITY.
7. CENTER BEAM IS REQUIRED FOR ALL INLET OPENINGS GREATER THAN 10'-0".
8. TWO MANHOLE FRAMES AND COVERS ARE REQUIRED WHEN INLET OPENING IS GREATER THAN 10'-0".
9. ALL INLET FLOORS ARE TO HAVE A 2% SLOPE TOWARDS THE OUTLET PIPE.
10. MINIMUM INLET OPENING SIZE IS 5'-0".
11. MAXIMUM INLET OPENING SIZE IS 20'-0".
12. OUTLET PIPE TO BE PLACED AT LOWEST END OF FLOOR INLET. MANHOLE COVER TO BE PLACED ABOVE OUTLET END OF INLET.
13. MANHOLE FRAME AND COVER SHALL BE CAST IRON, VULCAN V-1874 OR BASS AND HAYES PATTERN 103 OR APPROVED EQUAL.
14. MANHOLE COVERS SHALL HAVE CHAINS ATTACHED TO PREVENT COVERS FROM BEING WASHED AWAY DURING FLOOD CONDITIONS.

City of Lake Worth Texas	DRAINAGE SYSTEM CONSTRUCTION DETAILS STORM SEWER INLET GENERAL NOTES	REVISED MAY 2006 SCALE: N/A SHEET: D-5

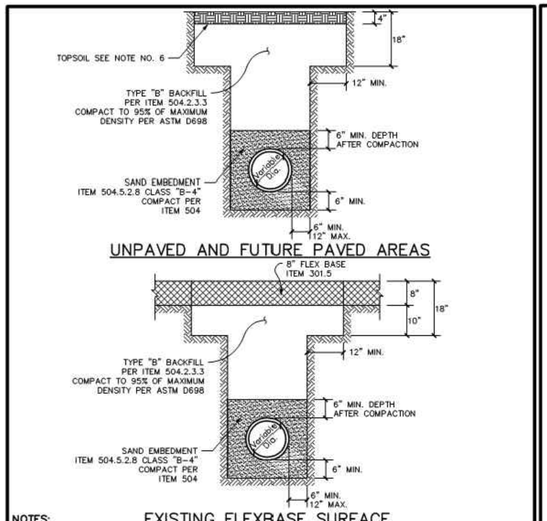


NOTES:

1. C□NT□ACT□□ T□ C□□□D.NATE □ ATE□□NE AD□□STMENT □ TH APP□□P□ATE .NSPECT□□, BASED □P□N □□CA□ □□□SD.CT□NA□□E□□□EMENTS AND F.E□D C□ND.T□NS.
2. C□NT□ACT□□T□ HAND D□□ TEST P.T AT ANT.C.PATED C□□SS.N□ □□CAT□N T□ DETE□.M.NE E□ST.N□ □ ATE□□NE DEPTH, T□TA□□ ATE□□NE DEF□ECT□N □E□□□ED, AND BEST METH□D F□□ □ ATE□□NE AD□□STMENT.
3. □E□T□CA□BENDS (.NSTA□□ED PE□ □□CA□STANDA□DS) AS □E□□□ED.
4. P.PE DEF□ECT□N AT □□.NTS (PE□ □□CA□STANDA□DS)

WATERLINE ADJUSTMENT DETAIL

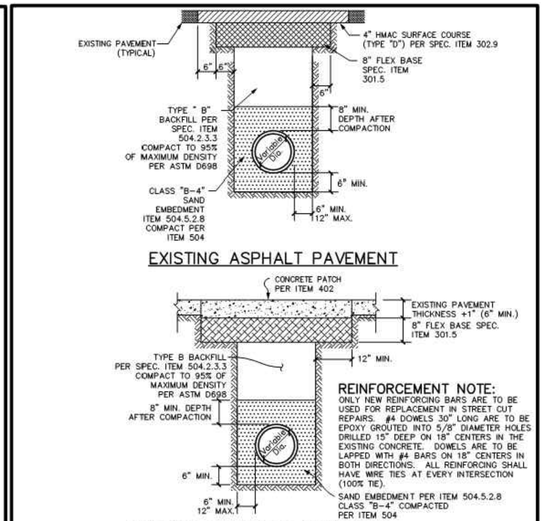
N□T T□ SCA□E



NOTES:

1. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY & TXDOT R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE OWNER TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
2. ALL BACKFILL SHALL BE PER SPEC. ITEM 504 AND SHALL BE COMPACTED PER SPEC ITEM 504. ROCKS GREATER THAN 4" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
3. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC ITEM 402.3.
4. COATED TRACER WIRE (MIN. 10-GAUGE) SHALL BE INSTALLED IN THE EMBEDMENT MATERIAL ABOVE THE PVC PIPE WITH THE TRACER WIRE TERMINATING IN IN-LINE GATE VALVE BOXES ACCESSIBLE BY CITY STAFF. BLUE UNDERGROUND WATER LINE WARNING TAPE OF MIN. 4" WIDTH SHALL BE INSTALLED ABOVE THE EMBEDMENT MATERIAL.
5. A MAXIMUM OF 200-FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY ENGINEER.
6. TOPSOIL SHALL BE 4 INCHES IN DEPTH AND SHALL BE LOOSE AND FREE OF ROCKS OR CLODS GREATER THAN 1/4" IN DIAMETER. ALL TOPSOIL SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.

City of Lake Worth Texas	WATER SYSTEM CONSTRUCTION DETAILS STANDARD WATER LINE EMBEDMENT AND BACKFILL	REVISED MAY 2006 SCALE: 1/2" = 1' SHEET: W-1A

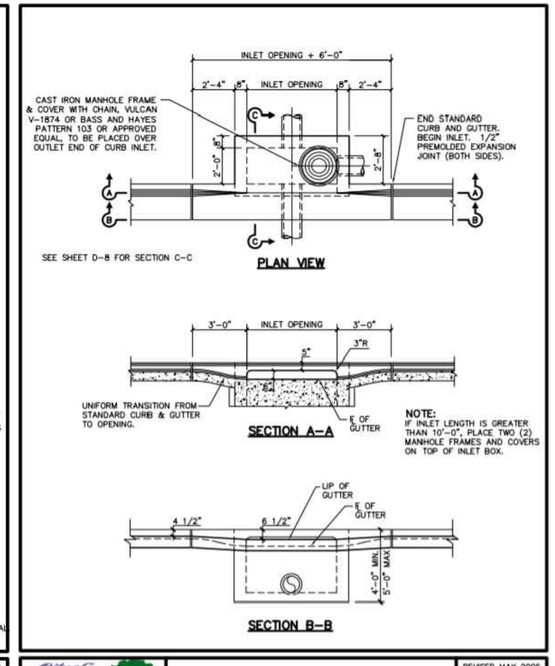


REINFORCEMENT NOTE:
ONLY NEW REINFORCING BARS ARE TO BE USED FOR REPLACEMENT IN STREET CUT REPAIRS. #4 DOWELS 30" LONG ARE TO BE EPOXY GROUTED INTO 5/8" DIAMETER HOLES DRILLED 15" DEEP ON 18" CENTERS IN THE EXISTING CONCRETE. DOWELS ARE TO BE LAPPED WITH #4 BARS ON 18" CENTERS IN BOTH DIRECTIONS. ALL REINFORCING SHALL HAVE WIRE TIES AT EVERY INTERSECTION (100% TIE).

NOTES:

1. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY & TXDOT R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE OWNER TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
2. ALL BACKFILL SHALL BE PER SPEC. ITEM 504 AND SHALL BE COMPACTED PER SPEC ITEM 504. ROCKS GREATER THAN 4" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
3. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC ITEM 402.3.
4. COATED TRACER WIRE (MIN. 10-GAUGE) SHALL BE INSTALLED IN THE EMBEDMENT MATERIAL ABOVE THE PVC PIPE WITH THE TRACER WIRE TERMINATING IN IN-LINE GATE VALVE BOXES ACCESSIBLE BY CITY STAFF. BLUE UNDERGROUND WATER LINE WARNING TAPE OF MIN. 4" WIDTH SHALL BE INSTALLED ABOVE THE EMBEDMENT MATERIAL.
5. A MAXIMUM OF 200-FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY ENGINEER.

City of Lake Worth Texas	WATER SYSTEM CONSTRUCTION DETAILS STANDARD WATER LINE EMBEDMENT AND BACKFILL	REVISED MAY 2006 SCALE: 1/2" = 1' SHEET: W-1B



City of Lake Worth Texas	DRAINAGE SYSTEM CONSTRUCTION DETAILS STORM SEWER CURB INLET	REVISED MAY 2006 SCALE: 1/4" = 1' SHEET: D-6

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN PROJECT MANAGEMENT TELECOMMUNICATIONS SERVICES

PENNSYLVANIA: EAST: PA, CENTRAL: PA, WEST: PA
NEW JERSEY: CENTRAL: NJ, SOUTH: NJ
NEW YORK: NYC, LI, WESTCHESTER, HUDSON VALLEY, CAPITAL REGION
MARYLAND: BALTIMORE, MD
VIRGINIA: NORFOLK, VA
NORTH CAROLINA: CENTRAL: NC
CHARLOTTE, NC
ATLANTA, GA
TAMPA, FL
SOUTH FLORIDA
DALLAS-FT. WORTH, TX

THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING OR THE PROJECT OWNER OR CLIENT.

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D.N□ □□CAT□N □E□S□□N	M□H

811
□N□□ □HAT'S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

N□T APP□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□ TD178006
D□A□□N B□□ M□H
CHEC□ED B□□ D□□
DATE□ 2/14/18
SCA□E□ AS N□TED
CAD □□D.□ SD0

P□□□ECT□

PROP. SITE PLAN DOCUMENTS
FOR
Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

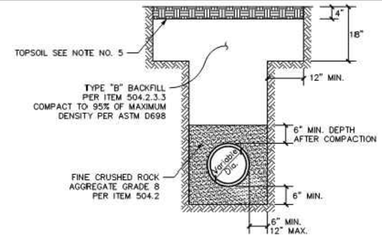
BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone: (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□ □N N□MBE□ 18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□□□D□□ES
□□ENSE N□MBE□ 11874

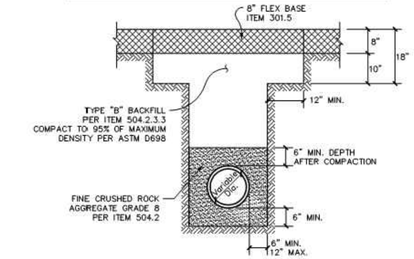
SHEET T□T□E□
CONSTRUCTION DETAILS

SHEET N□MBE□□
C-7.1

H:\TD178006\D□A□□N\SP□AN SETS\TD178006SD0.D□□ - P□□NTED B□□MHA□BE□T 4:05:18 □ 10:37 AM □ADST SA□ED B□□MHA□BE□T



UNPAVED AND FUTURE PAVED AREAS

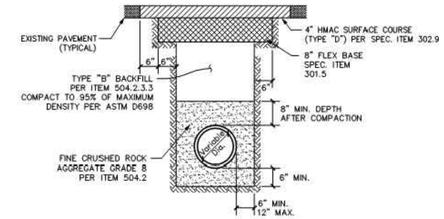


NOTES:

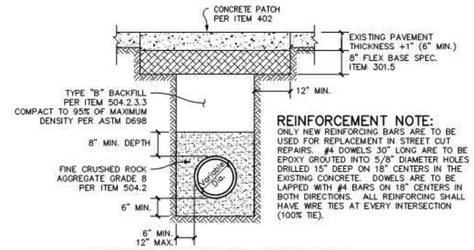
EXISTING FLEXBASE SURFACE

1. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY & TXDOT R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE OWNER TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
2. ALL BACKFILL SHALL BE PER SPEC. ITEM 504 AND SHALL BE COMPACTED PER SPEC ITEM 504. ROCKS GREATER THAN 4" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
3. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC ITEM 402.3.
4. A MAXIMUM OF 200-FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY ENGINEER.
5. TOPSOIL SHALL BE 4 INCHES IN DEPTH AND SHALL BE LOOSE AND FREE OF ROCKS OR CLODS GREATER THAN 1/4" IN DIAMETER. ALL TOPSOIL SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.

City of Lake Worth Texas	SEWER SYSTEM CONSTRUCTION DETAILS STANDARD SANITARY SEWER EMBEDMENT AND BACKFILL	REVISED MAY 2006 SCALE: 1/2" = 1' SHEET: S-1A



EXISTING ASPHALT PAVEMENT



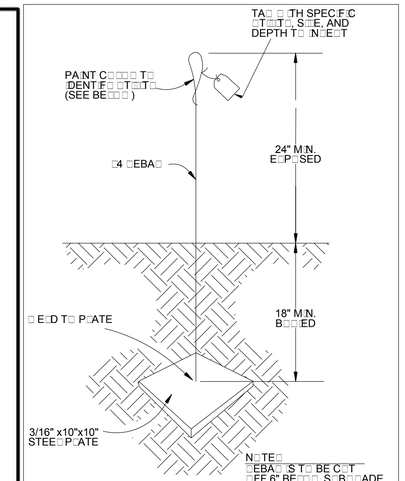
REINFORCEMENT NOTE:
ONLY NEW REINFORCING BARS ARE TO BE USED FOR REPLACEMENT IN STREET CUT REPAIRS. #4 DOWELS 30" LONG ARE TO BE EPOXY GROUTED INTO 5/8" DIAMETER HOLES DRILLED 15" DEEP ON 18" CENTERS IN THE EXISTING CONCRETE. DOWELS ARE TO BE LAPPED WITH #4 BARS ON 18" CENTERS IN BOTH DIRECTIONS. ALL REINFORCING SHALL HAVE WIRE TIES AT EVERY INTERSECTION (100% TIE).

NOTES:

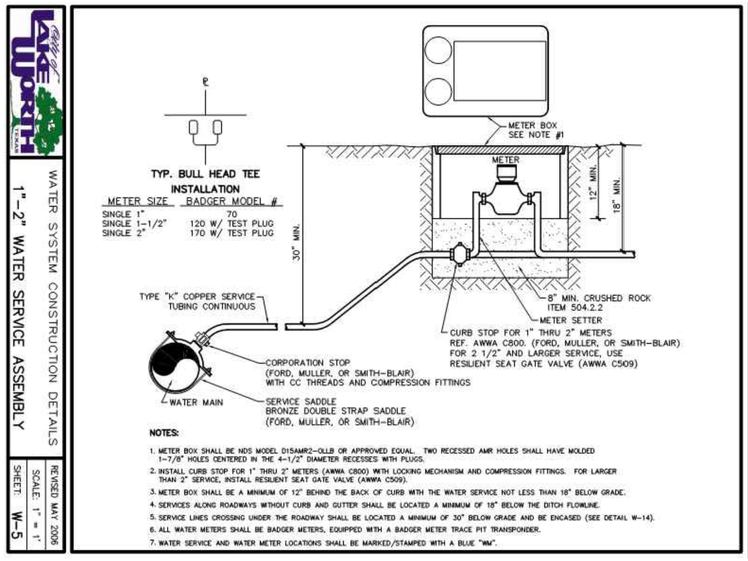
EXISTING CONCRETE PAVEMENT

1. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY & TXDOT R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE OWNER TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
2. ALL BACKFILL SHALL BE PER SPEC. ITEM 504 AND SHALL BE COMPACTED PER SPEC ITEM 504. ROCKS GREATER THAN 4" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
3. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC ITEM 402.3.
4. A MAXIMUM OF 200-FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY ENGINEER.

City of Lake Worth Texas	SEWER SYSTEM CONSTRUCTION DETAILS STANDARD SANITARY SEWER EMBEDMENT AND BACKFILL	REVISED MAY 2006 SCALE: 1/2" = 1' SHEET: S-1B



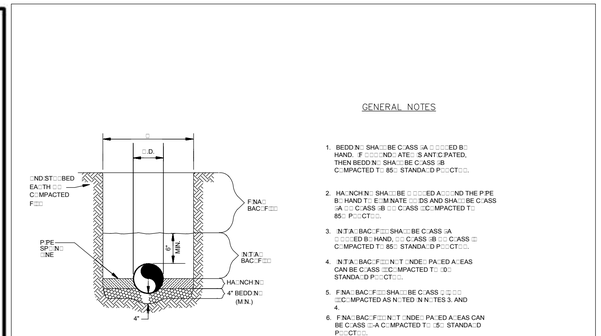
DTP□C□□C	12/21/04	



NOTES:

1. METER BOX SHALL BE NDS MODEL D15AMR2-OLLB OR APPROVED EQUAL. TWO RECESSED AMR HOLES SHALL HAVE MOLDED 1-7/8" HOLES CENTERED IN THE 4-1/2" DIAMETER RECESSES WITH PLUGS.
2. INSTALL CURB STOP FOR 1" THRU 2" METERS (AWWA C800) WITH LOCKING MECHANISM AND COMPRESSION FITTINGS. FOR LARGER THAN 2" SERVICE, INSTALL RESILIENT SEAT GATE VALVE (AWWA C509).
3. METER BOX SHALL BE A MINIMUM OF 12" BEHIND THE BACK OF CURB WITH THE WATER SERVICE NOT LESS THAN 18" BELOW GRADE.
4. SERVICES ALONG ROADWAYS WITHOUT CURB AND GUTTER SHALL BE LOCATED A MINIMUM OF 18" BELOW THE DITCH FLOWLINE.
5. SERVICE LINES CROSSING UNDER THE ROADWAY SHALL BE LOCATED A MINIMUM OF 30" BELOW GRADE AND BE ENCASED (SEE DETAIL W-14).
6. ALL WATER METERS SHALL BE BADGER METERS, EQUIPPED WITH A BADGER METER TRACE PIT TRANSPONDER.
7. WATER SERVICE AND WATER METER LOCATIONS SHALL BE MARKED/STAMPED WITH A BLUE "WM".

City of Lake Worth Texas	WATER SYSTEM CONSTRUCTION DETAILS 1"-2" WATER SERVICE ASSEMBLY	REVISED MAY 2006 SCALE: 1" = 1' SHEET: W-5



WATER LINE

N.T.S.

P.PE D.A.	□
□12"	□.D. □F P.PE □(12" T□ 18")
□12"	□□.D. □F P.PE □18"

GENERAL NOTES

1. BEDD.N□ SHA□□ BE C□ASS □A □ □□□ED B□ HAND. □F □□□□ND□ ATE□□S ANT□C□PATED, THEN BEDD.N□ SHA□□ BE C□ASS □B C□□MPACTED T□ 85□ STANDA□D P□□CT□□.
2. HA□NCH N□ SHA□□ BE □ □□□ED A□□□ND THE P.PE B□ HAND T□ E□M□NATE □□DS AND SHA□□ BE C□ASS □A □□ C□ASS □B □□ C□ASS □C□MPACTED T□ 85□ P□□CT□□.
3. N.T.A□BAC□F□□SHA□□BE C□ASS □A □ □□□ED B□HAND, □□ C□ASS □B □□ C□ASS □ C□MPACTED T□ 85□ STANDA□D P□□CT□□.
4. N.T.A□BAC□F□□N□T □NDE□ PA□ED A□EAS CAN BE C□ASS □□C□MPACTED T□ □0□ STANDA□D P□□CT□□.
5. F.NA□BAC□F□□SHA□□BE C□ASS □ □ □□ □□C□MPACTED AS N□TED N□N□TES 3 AND 4.
6. F.NA□BAC□F□□N□T □NDE□ PA□ED A□EAS CAN BE C□ASS □□A C□MPACTED T□ □5□ STANDA□D P□□CT□□.
7. A□□MATE□A□S A□E C□ASS F□ED □N ACC□□DANCE □TH ASTM D 2321-8□.
8. A□□MATE□A□S SHA□□BE NSTA□□ED □N MA□M□M 8" □□□SE □FTS □N ACC□□DANCE □TH ASTM D 6 □8. C□ASS □□AND □□A MATE□A□S SHA□□ BE C□MPACTED NEA□ □PT□M□M M□□ST□□E C□NTENT.
□ F□□SA□A□ED F□□M E□CA□AT□□N SHA□□BE F□EE □F DEB□□S. □□□AN CS AND □□C□S □A□□E□ THAN 3".
10. A□□T□ENCH E□CA□AT□NS SHA□□BE S□□PED, SH□□ED, SHEETED, B□ACED, □□ □THE□□SE S□PP□□TED N□C□MP□ANCE □ TH □SHA □E□□□AT□NS AND □□CA□□□D.NANCES. (SEE SPEC.F.CAT□NS)

UTILITY TRENCH AND BEDDING

N.T.S.

DT□T□T□N	12/21/04	

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN INFRASTRUCTURE TELECOMMUNICATIONS SERVICES

□PSTATE NE□ □□□□
NE□ EN□AND
ST□N□ MA
NE□ ST□N□ MET□□
NE□ □□□SE
PH□ADE PH□A, PA

□EH□M□A□E□ PA
S□□THEASTE□N PA
□EH□M□A□E□ NJ
BA□T□M□□E MD
NE□ □□□SE NC
S□□THE□N MA□□AND
N□W YO□K NY
CENT□A□□□□ N/A

THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING. ANY UNAUTHORIZED USE, REPRODUCTION OR DISTRIBUTION IS STRICTLY PROHIBITED.

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D□N□ □□CAT□□N □E□S□□N	M□H

□N□□ □HAT□S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
□s fast. □s free. □s the law.

N□T APP□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□	TD178006
D□A□N B□□	M□H
CHEC□ED B□□	D□C
DATE□	2/14/18
SCA□E□	AS N□TED
CAD □D□	SDD

P□□□ECT□

PROP.
SITE PLAN
DOCUMENTS
FOR

Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□□ST□AT□□N N□MBE□□18065

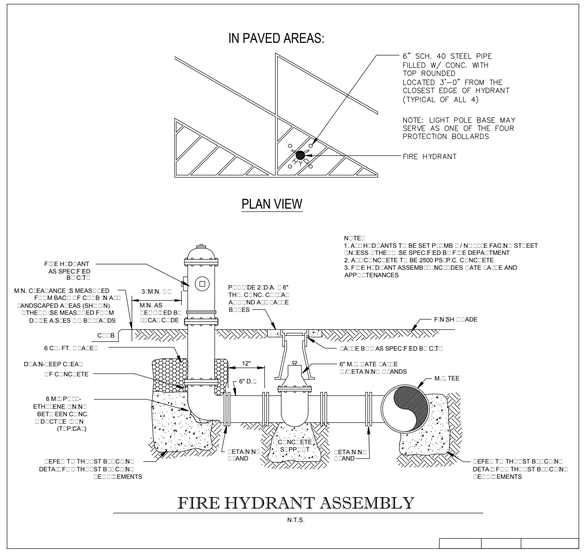
PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□□□D□□ES
□□CENSE N□MBE□□11874

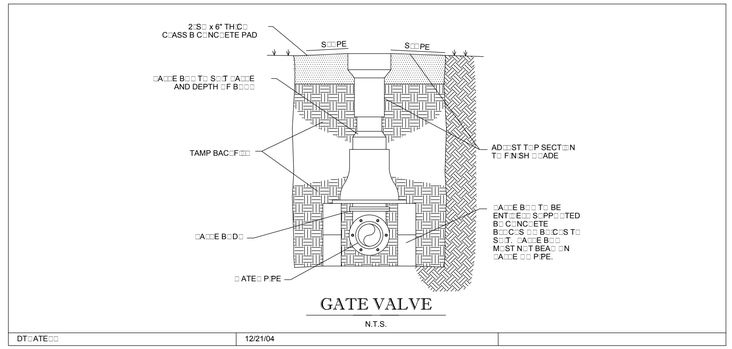
SHEET T□T□E□

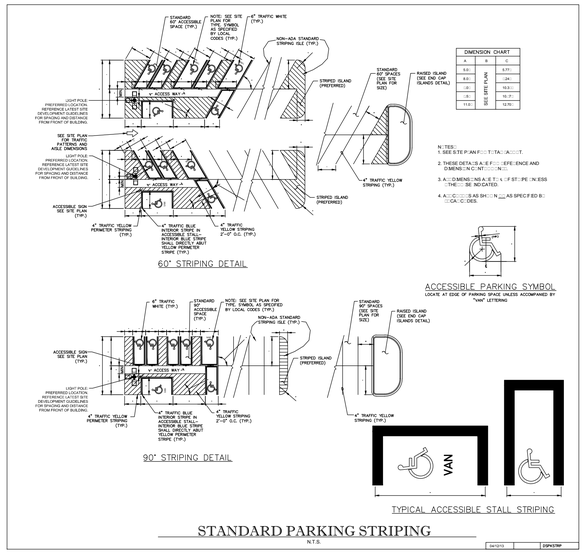
CONSTRUCTION
DETAILS

SHEET N□MBE□□

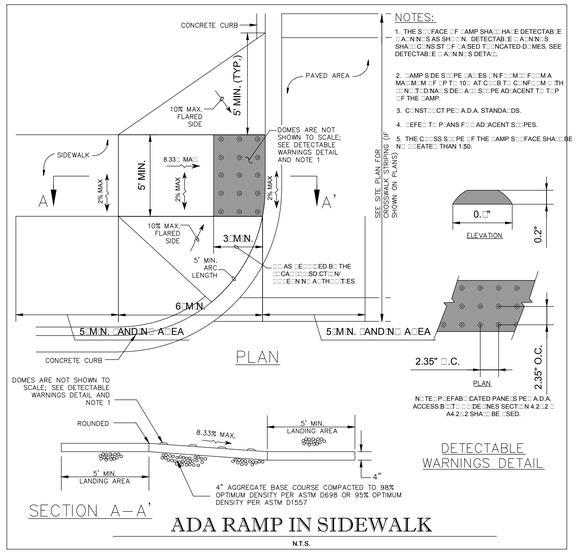
C-7.2

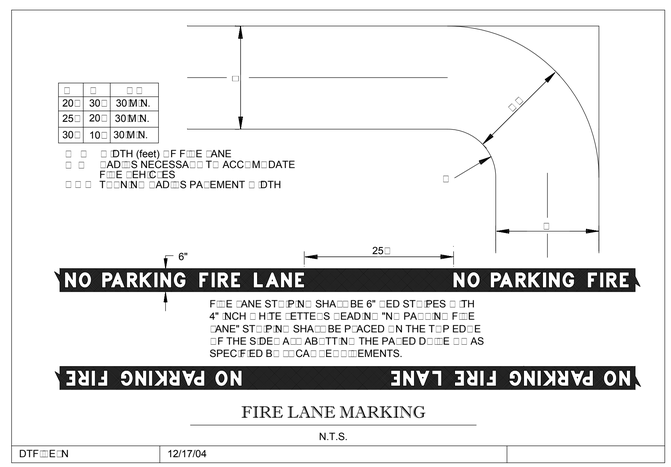






NOTES TO CEC: THE 60° STALL CONFIGURATION IS TO BE USED ALONE OR IN PAIRS AS SHOWN. IF YOU MUST FLIP THE PROPOSED ADA STRIPING LAYOUTS ENSURE A 5' ACCESS AISLE IS PLACED ON THE PASSENGER SIDE OF ALL VAN ACCESSIBLE SPACES.





BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LANDSCAPE ARCHITECTURE
TRANSPORTATION SERVICES
LAND SURVEYING
PROGRAM MANAGEMENT
SUSTAINABLE DESIGN
FACILITY SOLUTIONS
PERMITTING & APPROVALS

□PSTATE NE□ □□□□
NE□ EN□AND OFFICES:
NE□ STON□MET□□
NE□ E□□SE N□
□EH□H □A□E□ PA
□ BUTLER PLAZA DE
BA□T□M□□E MD
S□THE N MA□□AND
N□THPA□K NJ
CENT□A□□□□ N/A
□A□E□H NC
CHA□□TTE NC
RALEIGH □□A
TAMPA FL
S□TH F□□ DA
SA□LAS FT□□□TH, T□

THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING. THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D□N□ □□CAT□□N □E□S□□N	M□H

□N□□ □HAT□S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
□S fast. □S free. □S the law.

N□T APP□□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□	TD178006
D□A□N B□□	M□H
CHEC□ED B□□	D□C
DATE□	2/14/18
SCA□E□	AS N□□TED
CAD □□D□	SD0

P□□□ECT□

PROP. SITE PLAN DOCUMENTS FOR

Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□□18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□□□D□ES
□CENSE N□MBE□□117874

SHEET T□T□E□

CONSTRUCTION DETAILS

SHEET N□MBE□□

C-7.3

GENERAL NOTES

A. PROJECT OFFICE WALL SWPPP POSTINGS:
THE P□□□□□N□ ITEMS M□ST BE P□STED T□□ETHE□ IN A SIN□LE, □□□AN□ED □□CAT□N IN A □A□□ INS□DE THE P□□□ECT □FF□CE□1) S□ PPP S□TE MAPS (A□□ PHASES)□2) S□ PPP DETA□□ SHEETS□3) MAP SH□□N□ □□CAT□N □F □FFS□TE □MP□□T □□ E□P□□T FAC□□T□□4) C□E□S□NS T□ DETA□S, S□TE MAPS, □□S PPP□□ATED □F S□5) S□TE S□PPP B□NDE□□6) S□CT P□ACA□D□7) C□□□ENT □□NE□□ ST□□MATE□□ C□MP□ANCE □T□A□N□□, CE□T□F□CATES □□□ S□PE□NTENDENT(S) AND C□MP□ANCE □FF□CE□(S)□AND 8) CE□T□F□CAT□NS AND/□□ T□A□N□□ CE□T□F□CATES □E□□□ED □T□ PE□F□□M INSPECT□NS B□□ THE APP□□CAB□E □□NST□□CT□□N □ENE□A□ PE□MIT □□ A□TH□□□□ HA□N□ □□□SD□GT□N.

B. PERMITTED PROJECT AREA:
F□□ P□□P□SES □F TH□S S□PPP AND ASS□□CATED ST□□M□ATE□ PE□MIT, PE□MITTED P□□□ECT A□EA□S DEF□NED AS AN□ AND A□□ A□EA□S □TH□N THE P□□□ECT □MITS □F D□ST□□BANCE, AS SH□□N □N THE S□PPP S□TE MAPS AND □DENT□FIED □N THE N□T□CE □F □NTENT □□ THE A□ENC□□ A□□ □□□□ND□D ST□□BN□□ AND C□NST□□CT□N□E□ATED ACT□T□ES (MATE□A□ ST□□A□E, D□MPSTE□S, PA□□N□□ A□EAS, P□□□ECT □FF□CE T□A□E□□, ETC.) M□ST BE □NC□□DED □ TH□N THE PE□MITTED P□□□ECT A□EA □M□TS □F D□ST□□BANCE.

A□□ A□EAS □□TS□DE THE PE□MITTED P□□□ECT A□EA (□E., □M□TS □F D□ST□□BANCE) AC□□□ED F□□ □SE B□ THE C□ □□ A S□BC□NT□ACT□□ □F THE □C (B□□□□□□ S□□□CES, D□SP□SA□ A□EAS, ETC.) M□ST BE MANA□ED IN ACC□□DANCE □TH APPEND□□E □ - TAB 21 □F THE 02370 SPEC□FCAT□N. THE C□NT□ACT□□ □S □E□□□ED T□ □□CATE □FF□CE T□A□E□S AND MATE□A□ ST□□A□E A□EAS F□□ THE P□□□ECT □TH□N THE □MITS □F D□ST□□BANCE. THE C□NT□ACT□□ MA□ □□EST □SE □F □FF-S□TE □□CAT□NS F□□ □FF□CE T□A□E□S □□N□E□□D B□E MATE□A□ST□□A□E□H□□E□E□□ APP□□□A□M□ST BE □BTA□NED F□□M THE C□NST□□CT□□N MANA□E□. THE CEC AND THE □□A□MA□T S□CT P□□□□ TH□□□□SE □□E□□ESTS □□□ BE THE □AST C□NST□□CT□N ACT□□T□ □OC□□□□N□ IN THESE A□EAS. □EFE□ T□ THE C□□AD□□ P□AN AND/□□ □ANDSCAPE P□AN.

□. S□PES SHA□ BE □EFT N A □□□□HENED C□ND□T□N D□□□N□ THE □□AD□N□ PHASE T□ □ED□CE □□N□FF □E□□CT□ES AND E□□S□N. TEMP□□A□□ AND/□□ PE□MANENT STAB□□AT□N SHA□□ BE APP□□ED PE□ □□□□□EMENTS □N THESE E□S C□NT□□□N□TES.

H. D□E T□ THE □□ADE CHAN□ES D□N□ THE DE□E□PMENT □F THE P□□□ECT, THE C□NT□ACT□□ SHA□□ BE □ESP□NSIB□E F□□ AD□□STIN□ THE E□S□N AND SED□MENT C□NT□□□ MEAS□□ES (S□T FENCES, ETC.) T□ P□E□ENT E□S□N AND P□□□□TANT D□SCHA□□E □FF-S□TE.

□ A□□ MEAS□□ES STATED □N TH□S S□TE MAP, AND □N THE ST□□M □ATE□ P□□□T□N P□E□ENT□N P□AN, SHA□□ BE MANTA□NED □N F□□□□ F□NCT□NA□ C□ND□T□N □NT□N□ □N□E□ □E□□□□ED F□□ A C□MP□ETED PHASE □F □□□□ □□ FINA□ STAB□□AT□N □F THE S□TE. A□□ E□S□N AND SED□MENT□N C□NT□□□□ MEAS□□ES SHA□□ BE □EFT □□ A □□A□F□ED PE□S□N □N ACC□□DANCE □TH THE C□NT□ACT D□□□MENTS □□ THE APP□□CAB□E PE□MIT. □H□GHE□E□ S M□□E S□N□ENT, AND □EPA□ED □N ACC□□DANCE □TH THE S□TE.

□. ST□□M □ATE□ P□□□□TANT C□NT□□□□ MEAS□□ES □NSTA□ED D□□□N□ C□NST□□CT□N, THAT □ □□□ A□S□ P□□□□DE ST□□M □ATE□ MANA□EMENT AFTE□ C□NST□□CT□N, A□E NC□□DED □N THE C□NT□ACT D□□□MENTS. THE S□TE-SPEC□FIC P□□T C□NST□□CT□N ST□□M □ATE□ P□E□ATI□N AND MA□NTENANCE (□□M) MAN□A□S NC□□DED □N THE C□NT□ACT D□□□MENTS.

□. A□□ PE□MANENT C□NT□□□S AND S□STEMS M□ST BE □NSTA□ED AND F□NCT□N□N□ AS DES□□NED AND F□EE □F ACC□M□□ATED SED□MENT AND DEB□□S D□□N□ F□NA□P□□□ECT □NSPECT□N AND APP□□□A□.

EROSION AND SEDIMENT CONTROL NOTES

A. C□NT□ACT□□ SHA□□ IMP□EMENT BEST MANA□EMENT P□ACT□CES AS □E□□□ED B□□ TH□S ST□□M □ATE□ P□□□T□N P□E□ENT□N P□AN, ADD□T□□NA□ BEST MANA□EMENT P□ACT□CES SHA□□ BE IMP□EMENTED AS □ED□TATED B□ C□ND□T□□NS AT N□□ ADD□T□□NA□C□ST □F □□NE□ TH□□□□H□□T A□□ PHASES □F C□NST□□CT□□N.

B. BEST MANA□EMENT P□ACT□CES (BMP□S) AND C□NT□□□S SHA□□ C□NF□□M T□ FEDE□A□ STATE, □□ □□CA□ □E□□□□EMENTS □□ MAN□A□ □F P□ACT□CE, AS APP□□CAB□E. C□NT□ACT□□ SHA□□ IMP□EMENT ADD□T□NA□ C□NT□□□S AS D□ECTED B□ PE□MIT□TN□ A□ENC□□ □□ □□ NE□.

C. S□TE MAP M□ST C□EA□□□ DE□NEATE A□□ STATE □ATE□S. PE□M□TS F□□ AN□ C□NST□□CT□N ACT□□T□□ IMPACT N□□ STATE □ATE□S □□ □E□□□ATED □ ET□ANDS M□ST BE MA□NTA□NED □N S□TE AT A□□T□MES.

D. C□NT□ACT□□ T□ IMT□ DST□□BANCE □F S□TE □N ST□CT ACC□□DANCE □TH S□PPP IMP□EMENTAT□N SE□□ENCE, □□ AS □E□□□ED B□ THE APP□□CAB□E □ENE□A□ PE□MIT. N□ □NNECESSA□□ □□ IMP□□PE□□□ □E□□□ENCED □EA□□N□ AND/□□ □□AD N□ SHA□□ BE PE□MITTED.

E. A□□ DEN□□DED/BA□E A□EAS THAT □ □□□ BE INACT□E F□□ 14 DA□S □□ M□□E, M□ST BE STAB□□□ED IMMED□ATE□□ □P□N C□MPLET□□N □F M□ST □ECENT □□AD N□ ACT□□T□. □□TH THE □SE □F FAST-□E□M□NAT N□ ANN□A□ □□ASS□□AN □A□□ET□ES, ST□A□/HA□ M□□CH, □□□D CE□□□□□SE F□BE□S, TAC□□F□E□S, NETT N□ AND/□□ B□AN□ETS. C□MP□ET□N M□ST BE ACHE□ED □TH N 7 DA□S.

F. DST□□BED P□□T□N□S □F THE S□TE □HE□E C□NST□□CT□N ACT□□T□ HAS PE□MANENT □ST□PPED □□□ SHA□□ BE D□□MANT F□□ M□□E THAN 1 □EA□ SHA□□ BE PE□MANENT□ STAB□□□ED AS SH□□N □N THE P□ANS. THESE A□EAS SHA□□ BE SEEDED, S□DDED, AND/□□ □E□ETATED IMMED□ATE□□ AND C□MPLETED N□ □ATE□ THAN 7 DA□S AFTE□ THE □AST C□NST□□CT□N ACT□□T□ □OC□□□□N□ IN THESE A□EAS. □EFE□ T□ THE C□□AD N□ P□AN AND/□□ □ANDSCAPE P□AN.

G. AN□ SP□□S BE □EFT N A □□□□HENED C□ND□T□N D□□□N□ THE □□AD N□ PHASE T□ □ED□CE □□N□FF □E□□CT□ES AND E□□S□N. TEMP□□A□□ AND/□□ PE□MANENT STAB□□AT□N SHA□□ BE APP□□ED PE□ □□□□□EMENTS □N THESE E□S C□NT□□□N□TES.

H. D□E T□ THE □□ADE CHAN□ES D□N□ THE DE□E□PMENT □F THE P□□□ECT, THE C□NT□ACT□□ SHA□□ BE □ESP□NSIB□E F□□ AD□□STIN□ THE E□S□N AND SED□MENT C□NT□□□S MEAS□□ES (S□T FENCES, ETC.) T□ P□E□ENT E□S□N AND P□□□□TANT D□SCHA□□E □FF-S□TE.

□ A□□ MEAS□□ES STATED □N TH□S S□TE MAP, AND □N THE ST□□M □ATE□ P□□□T□N P□E□ENT□N P□AN, SHA□□ BE MANTA□NED □N F□□□□ F□NCT□NA□ C□ND□T□N □NT□N□ □N□E□ □E□□□□ED F□□ A C□MP□ETED PHASE □F □□□□ □□ FINA□ STAB□□AT□N □F THE S□TE. A□□ E□S□N AND SED□MENT□N C□NT□□□□ MEAS□□ES SHA□□ BE □EFT □□ A □□A□F□ED PE□S□N □N ACC□□DANCE □TH THE C□NT□ACT D□□□MENTS □□ THE APP□□CAB□E PE□MIT. □H□GHE□E□ S M□□E S□N□ENT, AND □EPA□ED □N ACC□□DANCE □TH THE S□TE.

J. ST□□M □ATE□ P□□□□TANT C□NT□□□□ MEAS□□ES □NSTA□ED D□□□N□ C□NST□□CT□N, THAT □ □□□ A□S□ P□□□□DE ST□□M □ATE□ MANA□EMENT AFTE□ C□NST□□CT□N, A□E NC□□DED □N THE C□NT□ACT D□□□MENTS. THE S□TE-SPEC□FIC P□□T C□NST□□CT□N ST□□M □ATE□ P□E□ATI□N AND MA□NTENANCE (□□M) MAN□A□S NC□□DED □N THE C□NT□ACT D□□□MENTS.

K. A□□ PE□MANENT C□NT□□□S AND S□STEMS M□ST BE □NSTA□ED AND F□NCT□N□N□ AS DES□□NED AND F□EE □F ACC□M□□ATED SED□MENT AND DEB□□S D□□N□ F□NA□P□□□ECT □NSPECT□N AND APP□□□A□.

HAZARDOUS MATERIAL MANAGEMENT & SPILL REPORTING

AN□ HA□A□D□□S □□ P□TENT A□□□ HA□A□D□□S MATE□A□ THAT S B□□□□□ INT□□ THE C□NST□□CT□N S□TE SHA□□ BE HANDLED P□□PE□□□ T□ □ED□CE THE P□TENT A□ F□□ ST□□M □ATE□ P□□□□T□N. A□□ MATE□A□S □SED □N TH□S C□NST□□CT□N S□TE SHA□□ BE P□□PE□□□ ST□□ED, HANDLED, D□SPENSED AND D□SP□SED □F F□□□□□ N□ A□□ APP□□CAB□E □ABE□ D□ECT□□NS. F□AMMABLE AND C□MB□STB□E □□□□DS SHA□□ BE ST□□ED AND HANDLED ACC□□D□N□ T□ APP□□CAB□E □E□□□AT□NS, AND, AT A M□N□M□M, ACC□□D□N□ T□ 2□ CF□ 1□26.152. □N□□ APP□□□ED C□NTA□NE□S AND P□□TAB□E TAN□S SHA□□ BE □SED F□□ ST□□A□E AND HAND□N□ □F F□AMMABLE AND C□MB□STB□E □□□□DS.

MATE□A□S SAFET□ DATA SHEETS (MSDS) □NF□MAT□N SHA□□ BE □EPT □N S□TE F□□ AN□ AND A□□ APP□□CAB□E MATE□A□S. H□□E□E□□ MSDS MA□ A□S□ BE ACCESSED □A TE□EPH□NE □□ □TH□□ E□ECT□□N□C MEANS □□ APPA□AT□S.

□N THE E□ENT □F AN ACC□DENTA□ SP□□□ IMMED□ATE ACT□N SHA□□ BE TA□EN B□ THE □C T□ C□NTA□N AND □EM□□E THE SP□□□ED MATE□A□. THE SP□□□ SHA□□ BE EPP□□TED T□ THE APP□□P□ATE A□ENC□ES □N THE □□□□ED T□ME F□AMES. AS □E□□□ED □NDE□ THE P□□□S□NS □F THE C□EAN □ATE□ ACT, AN□ SP□□□ □□ D□SCHA□□E ENTE□N□ □ATE□S □F THE □N□TED STATES SHA□□ BE P□□PE□□□ EPP□□TED.

A□□ HA□A□D□□S MATE□A□S, N□C□□D□N□ C□NTAM□NATED S□□□ AND □□□D C□NC□ETE □ASTE, SHA□□ BE D□SP□SED □F B□ THE C□NT□ACT□□ □N THE MANNE□ SPEC□FIED B□ FEDE□A□, STATE AND □□CA□ □E□□□AT□NS AND B□ THE MAN□FACT□□E□ □F S□CH P□□□□CTS.

THE □C SHA□ P□EPA□E A □□□TTEN □EC□□D □F AN□ SP□□□ AND ASS□CATED C□EAN□P ACT□□T□ES □F PET□□□E□M P□□D□CTS □□ HA□A□D□□S MATE□A□S □N E□CESS □F 1 □A□□N □□□ EPP□□TAB□E □□ANT□TES, H□CHE□E□S □ESS □N THE DA□□F THE SP□□□. THE □C SHA□□ P□□□DE N□TCE T□ □□NE□, □A THE □N□NE C□T□CA□□ NC□DENT □EP□□T, IMMED□ATE□□ □P□N □DENT□FCAT□N □F AN□ SP□□□ SP□□□ EPP□□T F□□MS A□E A□AB□E N THE □N□NE S□PPP □EP□□T□N S□STEM P□□□□DED B□ THE □□□ NE□. C□PIES □F SP□□□ C□T□CA□ NC□DENT □EP□□TS SHA□□ BE P□NTED AND MAN□TA□NED □N THE □□BS□TE B□NDE□.

AN□ SP□□S BE □EFT N A □□□□HENED C□ND□T□N D□□□N□ THE □□AD N□ PHASE T□ □ED□CE □□N□FF □E□□CT□ES AND E□□S□N. TEMP□□A□□ AND/□□ PE□MANENT STAB□□AT□N SHA□□ BE APP□□ED PE□ □□□□□EMENTS □N THESE E□S C□NT□□□N□TES.

THE STATE □EP□□TAB□E □□ANT□T□ F□□ PET□□□E□M P□□D□CTS S□□210 □A□□N□NS □NT□ AND F□□M AN E□EMPT PST FAC□□T□ 25 □A□□N□NS □NT□ AND □□ □NT□ AND F□□M A N□N-E□EMPT PST FAC□□T□ AND EN□□□H T□ C□EATE A SHEEN D□ECT□□ INT□ A ATE□.

THE STATE □E□□□ES A □ □TTEN F□□□□□ <□P □EP□□T T□ THE TCE□ □E□□□NA□ □FF-CE □ TH□N 30 □ □□□N□ DA□S □F THE D□SC□□E□□ F A □EP□□TAB□E SP□□□.

THE □EP□□TAB□E □□ANT□T□ F□□ HA□A□D□□S MATE□A□S CAN BE F□□ND N 40 CF□ 302 AND 30 TAC 327 (□NT□□ AND S □EP□□TAB□E □□ANT□T□□S □FNA□□□□* N TAB□E 302.4 N 40 CF□ 302.4 AND NT□ □ATE□S THESE □ESSE□ □F "FNA□□□□" AND 100 □BS).

T□ MIN□M□E THE P□TENT A□ F□□ A SP□□□ □F PET□□□E□M P□□D□CT □□ HA□A□D□□S MATE□A□S T□ □□ME IN C□NTACT □TH ST□□M □ATE□, THE F□□□□□ INSTEPS SHA□□BE IMP□EMENTED:

1) A□□ MATE□A□S □TH HA□A□D□□S P□□PE□T□ES, S□CH AS PEST□C□DES, PET□□□E□M P□□D□CTS, FE□T□□E□S, S□APS, DETE□GENTS, ADD□T□ES CHEM□CA□S, AC□DS, BASES, PA□NTS, PA□NT S□□□ENTS, ADD□T□ES F□□ S□□□ STAB□□AT□N, C□NC□ETE, C□□N□□ C□MP□□NDS AND ADD□T□ES, ETC., SHA□□ BE ST□□□ED IN A SEC□□E □□CA□□N, □NDE□ □□□E□ AND IN APP□□P□ATE, T□H□□□ SEA□ED C□NTA□NE□S □HEN N□T IN □SE.

2) THE MIN□M□M P□ACT□CA□ □□ANT□T□ □F A□□ S□CH MATE□A□S SHA□□ BE □EPT □N THE □□B S□TE AND SCHED□□ED F□□ DE□□□ AS C□□SE T□ TIME □F □SE AS P□ACT□CA□.

3) A SP□□□ C□NT□□□□ AND C□NTA□NMENT □□T (C□NTA□N□□ F□□ E□AMP□E, ABS□□BENT MATE□A□S SH□CH AS □□T□□□TTE□□ □□ SA□□D□ST, AC□D, BASE, NE□T□A□□□N□ A□ENT, B□□□MS, D□ST PANS, M□PS, □A□S, □□□ES, □□□□□ES, P□ASTIC AND META□T□ASH C□NTA□NE□S, ETC.) SHA□□ BE P□□□DED AT THE C□NST□□CT□N S□TE AND □TS □□CAT□N(S) SHA□□BE □DENT□FIED □TH □E□B□E S□NA□E AND SH□□N □N S□TE MAPS.

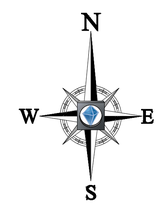
a. THE SP□□□ C□NT□□□□ AND C□NTA□NMENT □T S□PP□ES SHA□□ BE □F S□FFICIENT □ANT□TIES AND APP□□P□ATE C□NTENT T□ C□NTA□N A SP□□□ F□□M THE □A□□ EST ANT□C PATED P□ECE □F E□□□PMENT AND F□□M THE □A□□ EST ANT□C PATED □ANT□TIES □F P□□D□CTS □□□ED □N THE S□TE AT AN□ □□EN T□ME.

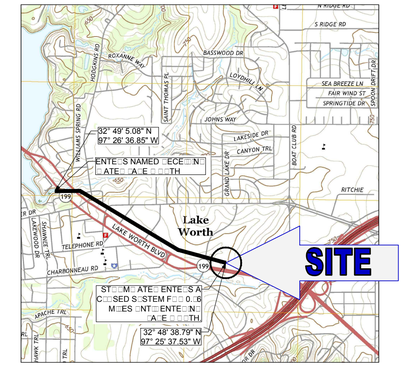
b. C□NTENTS SHA□□ BE □NSPECTED DA□□□ D□□□N□ THE DA□□□ ST□□M □ATE□ □NSPECT□N.

4) A□□ P□□D□CTS SHA□□ BE ST□□ED □N AND □SED F□□M THE □□□□NA□ C□NTA□NE□ □ □TH THE □□□□NA□ P□□D□CT □ABE□. C□NTA□NE□S M□ST BE ST□□ED □N A MANNE□ T□ P□□TECT THEM F□□M THE E□EMENTS AND □NC□DENTA□ DAMA□E.

5) A□□ P□□D□CTS SHA□□ BE □SED □N ST□CT C□MP□ANCE □TH □NST□CT□NS □N THE P□□D□CT □ABE□.

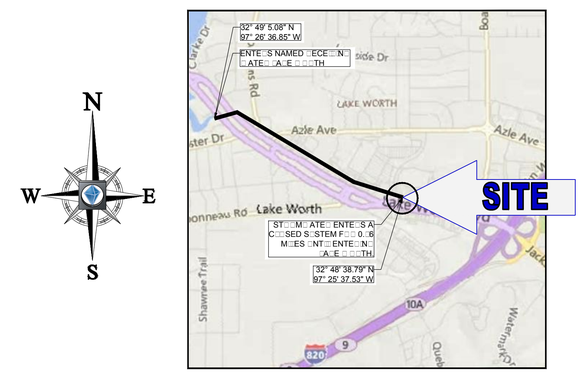
6) THE □DSP□SA□ □F E□CESS □□ □SED P□□D□CTS SHA□□ BE □N ST□CT C□MP□ANCE □TH □NST□CT□NS □N THE P□□D□CT □ABE□ AND □E□□□AT□NS.





USGS QUADRANGLE MAP

N.T.S.



LOCATION MAP

N.T.S.
C□□P□□□HT 2017
M□C□□S□FT B□N□ MAPS

OWNER/DEVELOPER:
WAL-MART STORES TEXAS LLC
P.O. BOX 8050
BENTONVILLE, AR
72712-8055
(479) 204-0070

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SWPPP NOTES

BOHLER™ ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING — PROGRAM MANAGEMENT — LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN — PERMITTING — TRANSPORTATION SERVICES
□PSTATE NE□ □□□□□
NE□ EN□ AND
□□TON□ MET□□
NE□ □E□□□□ N□
□E□□□□ □□□□□
□E□H □A□E□ PA
□A□E□ □A□E□ PA
□E□H □A□E□ NC
□A□E□ □A□E□ NC
□E□H □A□E□ FL
□A□E□ □A□E□ FL
□A□E□ □A□E□ TX
□A□E□ □A□E□ TX
□E□H □A□E□ PA
□A□E□ □A□E□ PA
□E□H □A□E□ MD
□A□E□ □A□E□ MD
□E□H □A□E□ DE
□A□E□ □A□E□ DE
□E□H □A□E□ NJ
□A□E□ □A□E□ NJ
□E□H □A□E□ CT
□A□E□ □A□E□ CT
THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN PERMISSION FROM BOHLER ENGINEERING

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□DN□ □□CAT□N □E□S□N	M□H

811
□N□□ □HAT'S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
□s fast. □s free. □s the law.

N□T APP□□□ED F□□
C□NST□□CT□N

P□□□ECT No.□ TD178006
D□A□N B□□ M□H
CHEC□ED B□□ D□C
DATE□ 2/14/18
SCA□E□ AS N□TED
CAD □D.□ □P0

P□□□ECT□
PROP. SITE PLAN DOCUMENTS
FOR
Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

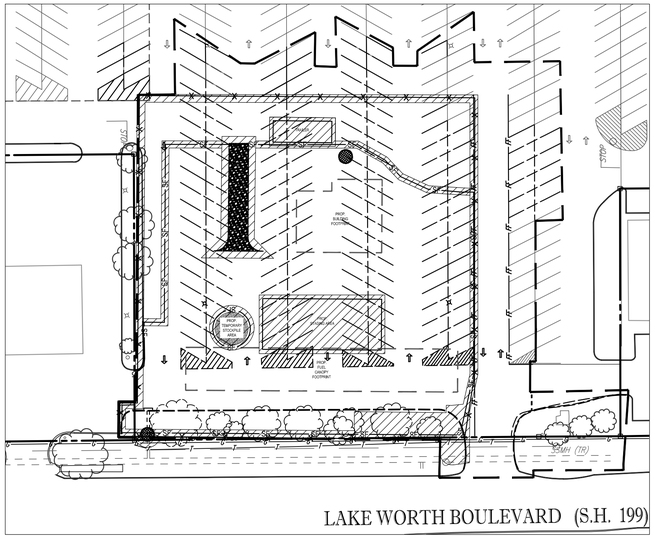
BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□ 18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□□□D□E□
□ICENSE N□MBE□ 117874

SHEET T□T□E□
SWPPP NOTES

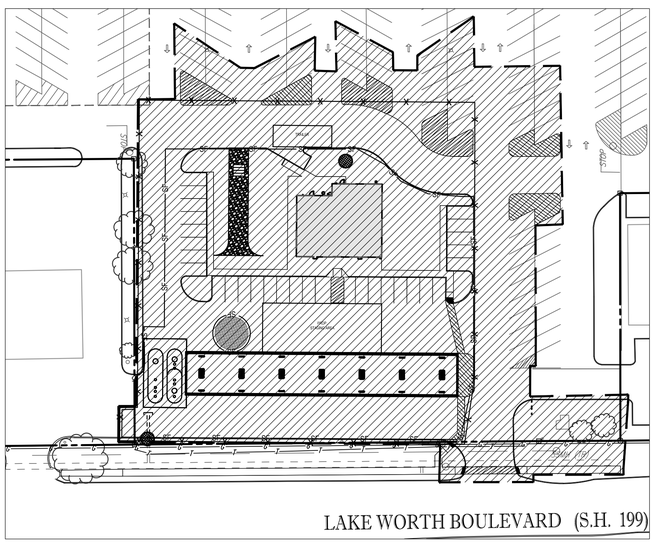
SHEET N□MBE□□
SW-1

H:\TD178006\D□A□□N□S\PLAN SETS\TD178006□P0.D□□ □□P□□NTED B□□MHA□BE□T 4:05:18 □□ 10:35 AM □AST SA□ED B□□MHA□BE□T



PHASE I LIMITS OF WORK

N□T T□ SCA□E



PHASE II LIMITS OF WORK

N□T T□ SCA□E

SWPPP IMPLEMENTATION SEQUENCE

N□TE□P□N □MP□EMENTAT□N AND □NSTA□□AT□N □F THE THE F□□□□□ □N□ A□EAS□T□A□E□, PA□□□N□, □A□ D□□ N, P□□TA-P□TT□, □ HEE□□ ASH, C□NC□ETE □ ASH□□T, MAS□N□S A□EA, F□E□ AND MATE□A□ST□□A□E A□EAS/C□NTA□NE□S, S□□□D □ ASTE C□NTA□NE□S, ETC., □MMED□ATE□□ DEN□TE THEM □N THE S□TE MAPS AND N□TE AN□ CHAN□ES □N □□CAT□N AS THE□ □CC□□ TH□□□□H□T THE C□NST□□CT□□N P□□CESS. □N ADD□T□N, N□TE A□□A□EAS □HE□E F□□□S □MP□□TED F□□M □□ S□□E□P□□TED T□ □N THE S□TE MAPS.

N□TE□D□□ N S□□PE P□□TECT□E MEAS□□ES M□ST A□□ A□S BE □N P□ACE BEF□□E S□□□S D□ST□□BED. ACT□□T□ES A□E P□ESENT □N THE □□DE□ □□ SE□□ENCE □N □ H□CH THE□ A□E □E□□□ED T□ BE C□MP□ETED.

PHASE 1

1. **CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.**
2. **PRIOR TO ANY EARTH DISTURBANCE, CONTRACTOR TO CONTACT THE CITY AND SCHEDULE A PRE-CONSTRUCTION MEETING.**
3. **INSTALL THE SWPPP INFORMATION SIGN AND POST REQUIRED DOCUMENTS NEAR THE PLANNED CONSTRUCTION EXIT, AND WITHIN EASY ACCESS TO THE GENERAL PUBLIC WITHOUT ENTERING THE SITE.**
4. **STAKE/FLAG THE LOD (WHERE STAKING IS NOT POSSIBLE/PRACTICAL, THE LOD MUST BE CONSPICUOUSLY, AND PROMINENTLY, MARKED TO DENOTE THE BOUNDARY). LOD MUST REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT.**
5. **INSTALL PERIMETER SEDIMENT CONTROL BMPS IN THE VICINITY OF, AND DOWN GRADIENT FROM, THE LOCATION OF THE PLANNED CONSTRUCTION EXIT, CONSTRUCTION OFFICE TRAILER, AND TEMPORARY PARKING AND STORAGE AREAS. CLEAR ONLY THE MINIMUM AREA ABSOLUTELY NECESSARY TO INSTALL THESE PERIMETER CONTROL BMPS.**
6. **INSTALL STABILIZED CONSTRUCTION EXIT(S) WITH SEDIMENT TRAPS, AND SET THE PROJECT OFFICE TRAILER.**
7. **INSTALL REMAINING PERIMETER SEDIMENT CONTROL BMPS, AS SHOWN ON THE SITE MAPS. CLEAR ONLY THE MINIMUM AREA NECESSARY TO INSTALL PERIMETER CONTROL BMPS.**
8. P□EPA□E TEMP□□A□□ PA□□□N□ AND ST□□A□E A□EA.
9. **HALT ALL ACTIVITIES**

CONTACT THE CEC TO PERFORM INSPECTION AND CERTIFICATION OF BMPS. BMP CERTIFICATION MUST OCCUR BEFORE STORMWATER PRE-CONSTRUCTION MEETING. (THIS MAY SHOULD BE SCHEDULED IN ADVANCE, IN ANTICIPATION OF THE EXPECTED DATE WHEN THE ABOVE SEQUENCE ITEMS WILL BE COMPLETED.)

ALL EXCEPTIONS NOTED ON THE BMP CERTIFICATION FORM MUST BE ADDED AS DEFICIENCIES WITHIN THE BMP CERTIFICATION FORM AND RESOLVED WITHIN 24-HOURS. BMPS MUST NOT BE CERTIFIED IF ONE OR MORE OF THE EXCEPTIONS WILL NOT BE RESOLVED WITHIN 24-HOURS OF THE BMP CERTIFICATION BY THE CEC.

IF THE CEC IS UNABLE TO CERTIFY THAT SITE CONDITIONS ARE PER PLANS AND SPECIFICATIONS, THE CERTIFICATION OF BMPS MUST BE RESCHEDULED. THE STORMWATER PRE-CONSTRUCTION MEETING MAY ONLY OCCUR AFTER BMPS CAN BE CERTIFIED.

GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORMWATER PRE-CONSTRUCTION MEETING WITH THE CEC, OWNER'S CONSTRUCTION MANAGER, AGENCY(IES) AND SUBCONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

DAILY STORMWATER INSPECTION REPORTS IN THE ONLINE SWPPP REPORTING SYSTEM PROVIDED BY THE OWNER MUST START ON THE NEXT BUSINESS DAY AFTER THE SITE BMPS & PRECONSTRUCTION MEETING CERTIFICATION IS SIGNED/CERTIFIED BY THE CEC.

PHASE 2

1. BE□□N DEM□□□T□□N □F C□□□BS, PA□EMENT, AND □T□□T□ES.
2. BE□□N □□AD□N□ THE S□TE.
3. STA□T C□NST□□CT□□N □F B□□□D□N□ PAD AND ST□□CT□□ES.
4. **TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING/GRADING ACTIVITY, ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 14 DAYS OR MORE.**
5. **IMMEDIATELY PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.**
6. □NSTA□□□T□□T□ES, □NDE□D□A□NS, ST□□M SE□E□S, C□□BS AND □□TTE□S.
7. P□EPA□E S□TE F□□□ PA□N□□.
8. PA□E S□TE AND □EST□□PE □FFS□TE A□EAS.
9. C□MP□ETE □□AD□N□ AND □NSTA□□AT□□N □F PE□MANENT STAB□□AT□□N □□E□ A□□A□EAS.
10. □NSTA□□APP□□P□□ATE □N□ET P□□TECT□N DE□□CES F□□ PA□EAD A□EAS AS □□□□□P□□□□ESSES, PE□ BMP DETA□S.
11. □BTA□N C□NC□□□ENCE F□□M THE □□ NE□ C□NST□□CT□N MANA□E□ (CM) THAT THE S□TE HAS BEEN F□□□□ STAB□□□ED AND A□□ C□NST□□CT□N HAS BEEN C□MP□ETED, THEN□
    12. □EM□□E A□□□EMA□N□N□ TEMP□□A□□ E□□S□N AND SED□MENT C□NT□□□S BEST MANA□EMENT P□ACT□CES (BMPS),
    13. STAB□□E AN□ A□EAS D□ST□□BED B□ THE □EM□□A□□F TEMP□□A□□ BMPS, AND
    14. AS□ THE CM T□ C□NTACT THE CEC T□ C□MP□ETE THE CEC P□E□N□T S□TE INSPECT□N AND □EP□□T (□N□□ CM MA□D□ TH□S).
15. C□NT□N□E DA□□ INSPECT□NS AND □EP□□TS □NT□ THE CM F□NA□DA□□ INSPECT□N □EP□□T, MA□□ED □EAD□T□ TE□M□NATE PE□M□T□S S□□NED B□ THE C□NST□□CT□N MANA□E□ AND S□BM□TTED □A THE □N□NE S□PPP □EP□□T□N□ S□STEM P□□□DED B□ THE □□ NE□.

N□TE□THE □ENE□A□ C□NT□ACT□□ MA□ C□MP□ETE C□NST□□CT□N-□E□ATED ACT□□T□ES C□NC□□□ENT□□, □N□□ □F A□□ P□ECED□N□ BMPS AND STAB□□AT□□N ACT□□T□ES HA□E BEEN C□MP□ETE□□ INSTA□□ED. BMP-□E□ATED STEPS □N THE AB□□E SE□□ENCE A□E B□□DED F□□ C□A□□T□. THE CEC M□ST APP□□□E, □N □ □□T□N□, AN□ CHAN□ES □N THE AB□□E S□PPP □MP□EMENTAT□N SE□□ENCE, BEF□□E THE□□ MP□EMENTAT□N BE□□NS.

THE EST□MATED DATES □F MP□EMENTAT□N □F P□□□T□N C□NT□□□ MEAS□□ES SHA□□ BE D□C□MENTED B□ THE C□NT□ACT□□ □N THE S□□□ E□□S□N/SED□MENAT□N C□NT□□□ □PE□AT□N T□ME SCHED□□E □N SHEET S□-5.

LEGEND

□M□TS □F D□ST□□BANCE

PE□M□TTED □M□TS □F D□ST□□BANCE

□M□TS □F □ □□□□ (□□TH□N EACH PHASE)

PHASE II LIMITS OF WORK

N□T T□ SCA□E

M□N□M□□AT□□N □F D□ST□□BED A□EAS□

1. C□NT□ACT□□ SHA□□MANA□E C□NST□□CT□□N ACT□□□T□ES T□ □ED□CE E□□S□□N AND □ETA□N SED□MENT AND □THE□ P□□□□TANTS □N THE S□□□AT THE C□NST□□CT□□N S□TE.
2. C□NT□ACT□□ SHA□□M□N□M□□E THE T□ME BA□E S□□□□S E□P□SED.
3. C□NT□ACT□□ SHA□□M□N□M□□E S□TE D□ST□□BANCE B□ M□N□M□□N□ THE E□TENT □F □□AD□N□ AND C□EA□□N□ T□ EFFECT□□E□□ □ED□CE SED□MENT □E□D.

N□TE T□ □C□□□ NE□ HAS A□TH□□T□ AT AN□ T□ME T□ □M□T S□□FACE A□EA □F E□□D□B□E EA□TH MATE□A□E□P□SED B□ C□EA□N□ AND □□□BB□N□, E□CA□AT□N, B□□□□□ AND EMBAN□MENT □PE□AT□NS AND T□ D□ECT THE □C T□ P□□□□DE □MMED□ATE PE□MANENT □□ TEMP□□A□□ P□□□□T□N C□NT□□□ MEAS□□ES.

OWNER/DEVELOPER:
WAL-MART STORES TEXAS LLC
P.O. BOX 8050
BENTONVILLE, AR
72712-8055
(479) 204-0070

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SWPPP IMPLEMENTATION AND LIMITS OF WORK

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
PROGRAM MANAGEMENT
TELECOMMUNICATIONS SERVICES
SUSTAINABLE DESIGN

PSTATE NE□ □□□□
NE□ EN□ AND □□□□□□□□
NE□ □□□MET□□
NE□ □□□□□□□□
NE□ □□□□□□□□

□EH□H A□E□ PA
S□THEASTE□N PA
□EW JE□SEY
BA□TIM□□E MD
S□THE N MA□□AND
N□THE VIRGINIA
CENT□A□□□□□ N/A

THE INFORMATION AND CONTENT OF THIS PLAN IS THE PROPERTY OF AND WILL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING. ANY UNAUTHORIZED USE OR REPRODUCTION IS PROHIBITED.

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D□N□ □□CAT□□N □E□S□N	M□H

□N□□ □HAT'S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

N□T APP□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□	TD178006
D□A□N B□□	M□H
CHEC□ED B□□	D□C
DATE□	2/14/18
SCA□E□	AS N□TED
CAD □D.□	□P0

P□□□ECT□

PROP. SITE PLAN DOCUMENTS
FOR
Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

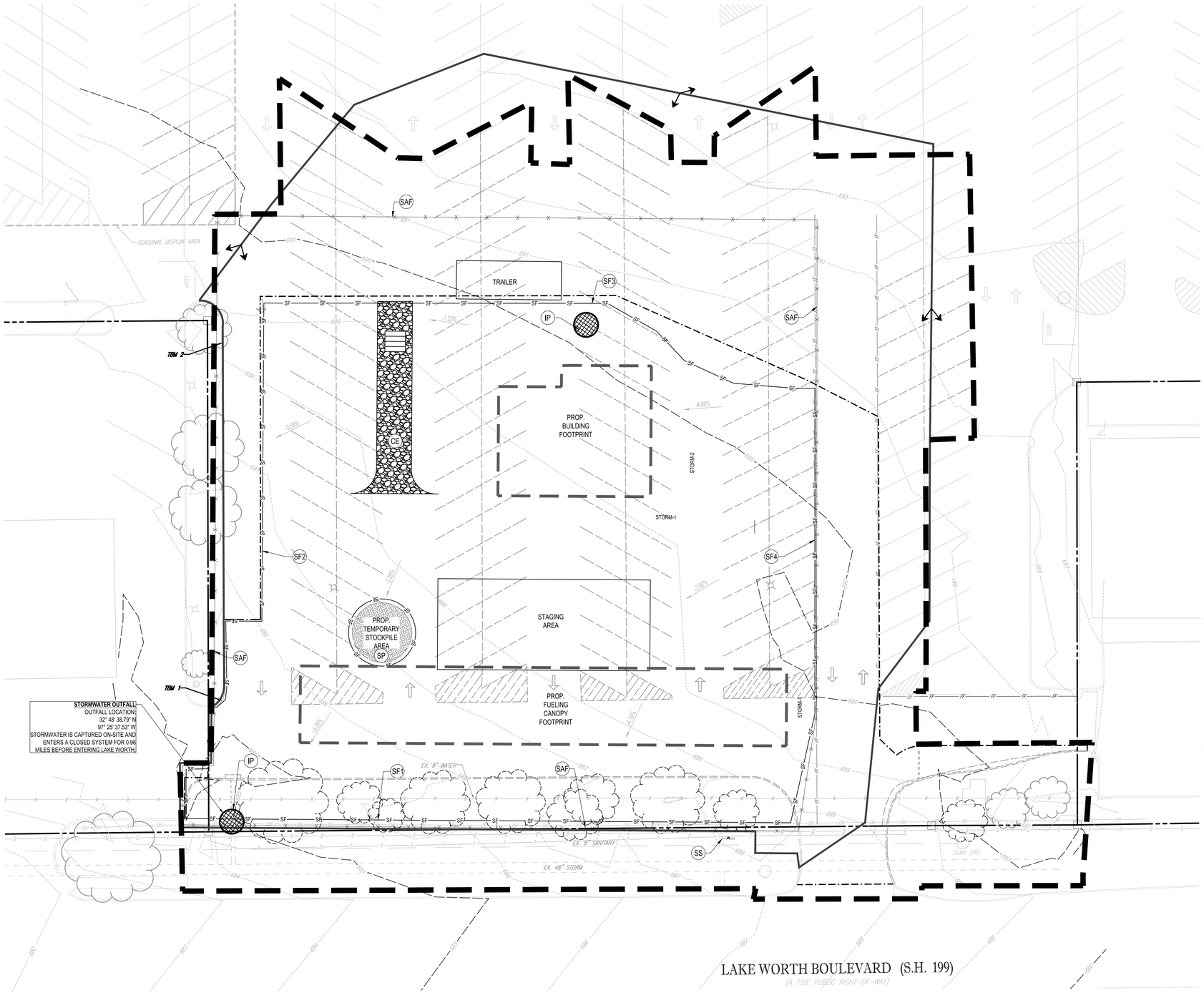
BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□-□□D□ES
□CENSE N□MBE□□17874

SHEET T□T□E□
SWPPP IMPLEMENTATION AND LIMITS OF WORK

SHEET N□MBE□□
SW-2

H:\TD178006\D□A□ N□S\P□AN SETS\TD178006□P0.D□□ □ P□□NTED B□□MHA□BE□T 4.05.18 □ 3:20 PM □AST SA□ED B□□MHA□BE□T



20 10 5 0 20

1"=20'

EROSION CONTROL CODING SYSTEM

TEMP□□A□□ ST□NE C□NST□□CT□□N E□□T	CE	CE
S□□T FENCE □ □TH □ □□E BAC□□N□	SF	SF
□N□ET P□□TECT□□N	IP	
S□ PPP □NF□□MAT□□N S□□N	SS	
ST□C□P□□ES	SP	SP
SAFET□ FENCE	SAF	

SITE FEATURES

- □NS□TE P□□PE□T□ □NE / □.□.□.□ □NE
- P□□□P□SED B□□□D N□ F□□TP□□NT
- □M□TS □F D□ST□□BANCE
- EASEMENT □NE
- E□□ST□N□
- C□NT□□□ □NES
- E□□ST□N□ ST□□M SE□□E□
- S□□PE A□□□□
- E□□ST□N□ D□□A□NA□E A□EA

SWPPP UPDATES AND AMENDMENTS

THE □C M□ST □PDATE THE S□ PPP, □NC□□D□N□ THE □□BS□TE B□NDE□, AND S□TE MAPS, T□ □EF□ECT THE P□□□□□ESS □F C□NST□□CT□□N ACT□□T□ES AND □ENE□A□ CHAN□ES T□ THE P□□□ECT S□TE. □PDATES SH□□□D BE MADE DA□□ T□ T□AC□ P□□□□ESS □ HEN AN□ □F THE F□□□□ N□ ACT□□T□ES □CC□□□BMP □NSTA□□AT□N, M□D□F□CAT□□N □□ □EM□□□A□, C□NST□□CT□□N ACT□□T□ES (E□□, PA□N□□, ST□□M SE□□E□ □NSTA□□AT□□N, F□□T□N□ □NSTA□□AT□□N, ETC.), C□EA□N□□, □□□BB□N□ □□ □□AD□N□, □□ TEMP□□A□□ □□ PE□MANENT STAB□□AT□□N.

□MP□□TANT□

THE □ENE□A□C□NT□ACT□□ M□ST S□BM□T A □E□□EST F□□ □NF□□MAT□□N (□F□) T□ THE CEC AND □BTA□N □ □□TTEN CEC APP□□□A□BEF□□E D□□N□ AN□ □F THE F□□□□□ □N□□

1. M□D□F□N□ E□□S□N □□ SED□MENT C□NT□□□ BMPS (S□BST□T□□NS A□E T□P□CA□□□ □N□□ APP□□□ED □F SPEC□FED MATE□□A□S A□E N□T A□A□ABLE □□ THE□E □S A □A□D □EAS□□N THE SPEC□FED BMP □ □□□N□T □ □□□)□
2. ADD□N□□DE□ET N□ E□□S□N □□ SED□MENT C□NT□□□□BMPS□
3. M□D□F□N□ THE S□ PPP MP□EMENTAT□N SE□□ENCE□□□
4. PE□F□□M□N□ AN□ ACT□NS □□ □N AN□ MANNE□ THAT □S C□NT□A□□ T□ THE S□ PPP.

THE C□NT□ACT□□ MA□ M□D□F□ □□ ADD ADD□T□NA□BMPS, □ □TH□□T CEC APP□□□A□, □N AN EME□□ENC□ S□T□AT□N T□ P□E□ENT SED□MENT D□SCHA□□E □□ P□□TECT □ATE□ □□A□T□□H□□ E□E□, □C M□ST N□T□F□ THE CEC AS S□□N AS P□ACT CA□ AS T□ THE□ ACT□NS T□ D□SC□SS THE NEED F□□ ADD□T□NA□□□ S□PP□EMENTA□ MEAS□□ES AND T□ □BTA□N THE □E□□□ED APP□□□A□S. THE C□NT□ACT□□ S□□T□MATE□□ □ESP□NS B□E T□ ENS□□E C□MP□ANCE □ □TH THE PE□M□T AND P□□TECT□N □F D□□ NST□EAM □ATE□ □□A□T□.

AMEND□N□ THE S□PPP D□ES N□T MEAN THAT □T HAS T□ BE □EP□NTED. □T □S ACCEPTAB□E T□ ADD ADDENDA, S□ETCHES, NE□ SECT□NS, DETA□S, AND/□□ □E□SED D□A□ N□S THAT HA□E THE CEC NAME □N P□NT, A□E STAMPED, S□NED, DATED, AND A□E ACC□MPAN□ED B□ □ □TTEN C□P□ □F THE ASS□C ATED □F AND □TS □ESP□NSE F□□M CEC. EN□ NEE□ED □TEMS M□ST BE S□NED AND STAMPED B□ THE CEC □F □EC□□D F□□ THE P□□ECT.

OWNER/DEVELOPER:
WAL-MART STORES TEXAS LLC
P.O. BOX 8050
BENTONVILLE, AR
72712-8055
(479) 204-0070

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

TEMPORARY BENCHMARKS

TBM □1
N□6□7□631.8□73□
E□22□6084.7517□
E□E□□685.5□□
DESC□□□C□□T N C□NC□ETE C□□B/□□TTE□

TBM □2
N□6□7□76□□542□
E□22□8107.3227□
E□E□□688.73□
DESC□□□C□□T N C□NC□ETE C□□B/□□TTE□

PHASE I EROSION AND SEDIMENTATION CONTROL PLAN - SWPPP SITE MAP

BOHLER ENGINEERING™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN CONSTRUCTION SERVICES TELECOMMUNICATIONS SERVICES
□PSTATE NE□ □□□□
NE□ EN□AND SURVEY□NG
NE□ST□N□MET□□
NE□ □E□□E□
NE□ □E□□E□
EH□H□A□E□ PA
S□□THEASTE□N PA
BU□TON□ NJ
BA□T□M□□E MD
S□□THE N MA□□AND
N□W□HE N□ NY
PH□□ADE PH□A, PA
CENT□A□□□□ N/A
CHA□□TTE, NC
DU□HAM, NC
TAMPA, FL
S□□TH F□□ DA
S□□TH□ FL□□□TH, T□
EA□LAS FT□□□TH, T□
THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN FOUNDATION FROM BOHLER ENGINEERING. ANY UNAUTHORIZED USE OR DISTRIBUTION IS PROHIBITED AND MAY BE SUBJECT TO CRIMINAL AND CIVIL PENALTIES.

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D N□ □□CAT□□N □E□S□□N	M□H

□N□□ □HAT□S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
□S fast. □S free. □S the law.

N□T APP□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□ TD178006
D□A□ N B□□ M□H
CHEC□ED B□□ D□C
DATE□ 2/14/18
SCA□E□ S□ PPP S□DE MAP
CAD □□D□ □P0

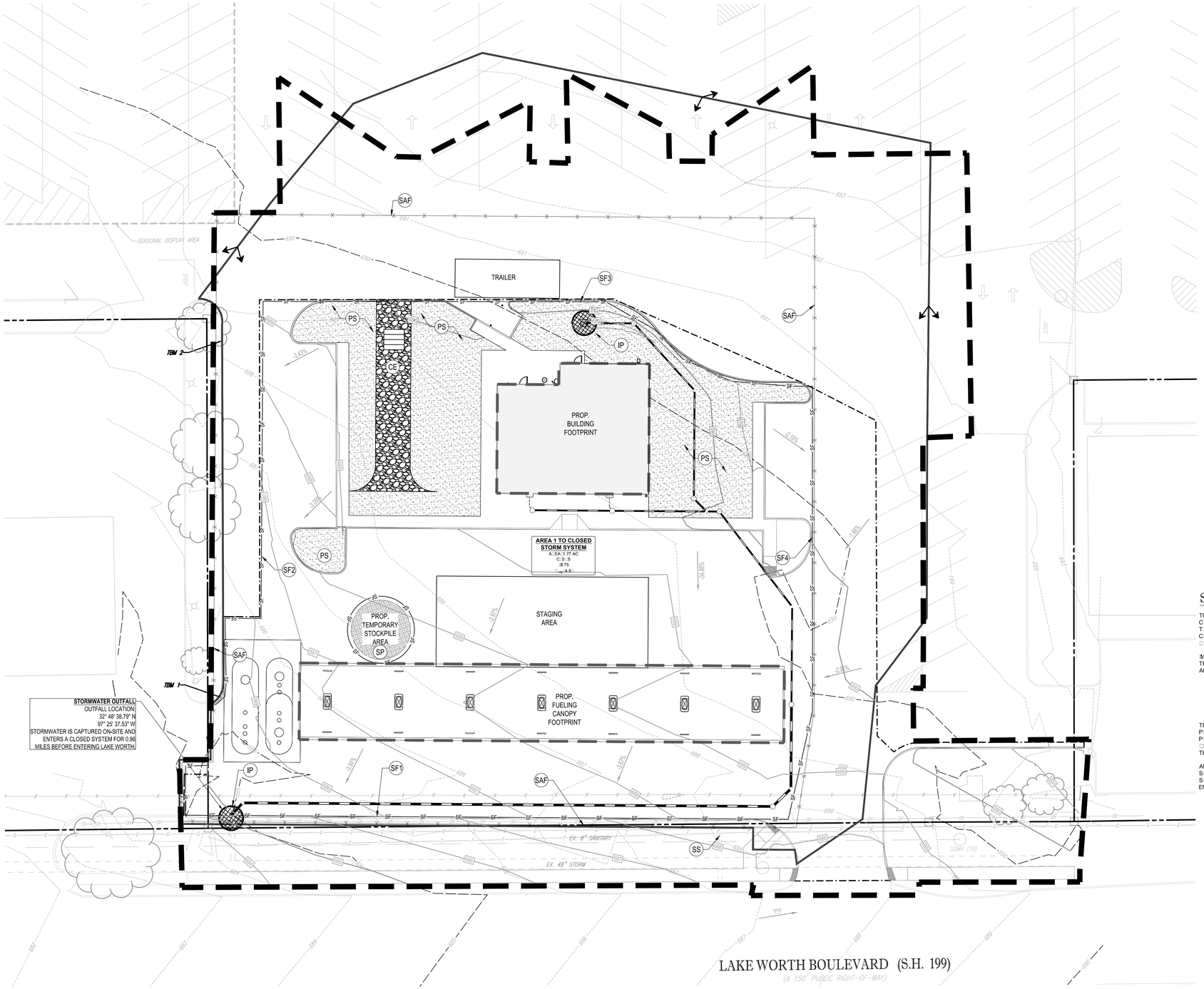
P□□□ECT□
PROP. SITE PLAN DOCUMENTS
FOR
Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□ □18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□□□D□□ES
□□CENSE N□MBE□□117874

SHEET T□T□E□
PHASE I EROSION AND SEDIMENTATION CONTROL PLAN - SWPPP SITE MAP
SHEET N□MBE□□
SW-3



EROSION CONTROL CODING SYSTEM

TEMP□□A□□ ST□NE C□NST□□CT□□N E□□T	CE	CE
S□□T FENCE □ □TH □ □E BAC□□N□	SF	SF
□N□ET P□□TECT□□N	IP	
S□ PPP □NF□□MAT□□N S□□N	SS	
ST□C□P□□ES	SP	SP
T□EE P□□TECT□□N	TP	
SAFET□ FENCE	SAF	
PE□MANENT SEED□N□	PS	PS

SITE FEATURES

- □NS□TE P□□PE□T□ □NE / □□□ □ □□NE
- P□□P□□SED B□□□D□□ F□□TP□□NT
- □M□TS □F D□ST□□BANCE
- EASEMENT □NE
- P□□P□SED C□NT□□□ □NES
- E□ST□N□ ST□□M SE□ E□
- S□□PE A□□□□
- P□□P□SED D□ANA□E A□EA

SWPPP UPDATES AND AMENDMENTS

THE □C M□ST □PDATE THE S□ PPP, □NC□□D□□ THE □□BS□TE B□NDE□, AND S□TE MAPS, T□ □EF□ECT THE P□□□□ESS □F C□NST□□CT□□N ACT□□□ES AND □ENE□A□ CHAN□ES T□ THE P□□□ECT S□TE. □PDATES SH□□□D BE MADE DA□□□ T□ T□AC□□P□□□□ESS □HEN AN□ □F THE F□□□□□ N□ ACT□□T□ES □CC□□□BMP □NSTA□AT□N, M□D□F□CAT□□N □□ □EM□□□A□, C□NST□□CT□□N ACT□□T□ES (E□□□, PA□□N□□, ST□□M SE□E□□ □NSTA□AT□□N, F□□T□N□□ □NSTA□AT□□N, ETC.), C□EA□N□□, □□□BB□N□ □□ □□AD□N□, □□ TEMP□□A□□ □□ PE□MANENT STAB□□□AT□□N.

□MP□□TANT□

THE □ENE□A□C□NT□ACT□□ M□ST S□BM□T A □E□□EST F□□ □NF□□MAT□□N (□F□) T□ THE CEC AND □BTA□N □ □TTEN CEC APP□□□A□BEF□□E D□□N□ AN□ □F THE F□□□□ □N□□

1. M□D□F□□N□ E□□S□□N □□ SED□MENT C□NT□□□ BMPS (S□BST□T□□NS A□E T□P□CA□□□ □N□□ APP□□□ED □F SPEC□F□ED MATE□A□S A□E N□T A□A□ABLE □□ THE□E S A □A□D □EAS□N THE SPEC□F□ED BMP □ □□□N□T □ □□□□.
2. ADD□N□ODE□ETA□E E□□S□N □□SED□MENT C□NT□□□BMPS□.
3. M□D□F□N□ THE S□ PPP □MP□EMENTAT□□N SE□□ENCE□□□.
4. PE□F□□M N□ AN□ ACT□NS □□ N AN□ MANNE□ THAT □S C□NT□A□□ T□ THE S□ PPP.

THE C□NT□ACT□□ MA□ M□D□F□ □□ ADD ADD□T□NA□BMPS, □TH□□T CEC APP□□□A□, N AN EME□□ENC□ S□T□AT□N T□ P□E□ENT SED□MENT D□SCHA□□E □□ P□□TECT □ATE□ □□A□T□□H□□ E□E□, □C M□ST N□T□F□ THE CEC AS S□□N AS P□ACT□CA□ AS T□ THE□ ACT□NS T□ D□SC□SS THE NEED F□□ ADD□T□NA□ □□ S□PP□EMENTA□ MEAS□□ES AND T□ □BTA□N THE □E□□□ED APP□□□A□S. THE C□NT□ACT□□ S □□T□MATE□□ □ESP□NS B□E T□ ENS□□E C□MP□ANCE □ TH THE PE□M□T AND P□□TECT□N □F D□□ NST□EAM □ ATE□ □□A□T□.

AMEND□N□ THE S□PPP D□ES N□T MEAN THAT □T HAS T□ BE □EP□NTED. □T S ACCEPTAB□E T□ ADD ADDENDA, S□ETCHES, NE□ SECT□NS, DETA□S, AND/□□ □E□SED D□A□ N□S THAT HA□E THE CEC NAME N P□NT, A□E STAMPED, S□NED, DATED, AND A□E ACC□MPAN□ED B□ □ □TTEN C□P□ □F THE ASS□C□ATED □F□AND □TS □ESP□NSE F□□M CEC. EN□□NEE□ED □TEMS M□ST BE S□NED AND STAMPED B□ THE CEC □F □EC□□D F□□ THE P□□□ECT.

OWNER/DEVELOPER:
WAL-MART STORES TEXAS LLC
P.O. BOX 8050
BENTONVILLE, AR
72712-8055
(479) 204-0070

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

TEMPORARY BENCHMARKS

TBM □1
N:□6□7□631.8□73□
E:□22□6084.7517□
E:□E□□685.5□□
DESC□□□C□T N C□NC□ETE C□□B/□□TTE□

TBM □2
N:□6□7□76□□542□
E:□22□8107.3227□
E:□E□□688.73□
DESC□□□C□T N C□NC□ETE C□□B/□□TTE□

20 10 5 0 20
1"□20□

PHASE II EROSION AND SEDIMENTATION CONTROL PLAN - SWPPP SITE MAP

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN ENVIRONMENTAL SERVICES TRANSPORTATION SERVICES
□PSTATE NE□ □□□□
NE□ EN□AND SCAPE ARCHITECTS
NE□ST□N□MET□□
NE□ □E□□S□N
NE□ □E□□S□N
□EH□H□A□E□ PA
S□THEASTE□N PA
BA□T□M□E MD
S□THE N MA□□AND
N□W JE□SE□ N□
CERT□A□□□□ N/A
A□E□H NC
CHA□□TTE NC
RA□EIGH NC
TAMPA FL
S□TH F□□ DA
BALTIMORE MD
FT□□TH TX
THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN PERMISSION FROM BOHLER ENGINEERING

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D□N□ □□CAT□□N □E□S□□N	M□H

811
□N□□ □HAT□S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
□S fast. □S free. □S the law.

N□T APP□□□□ED F□□ C□NST□□CT□□N

P□□□ECT No.□ TD178006
D□A□N B□□ M□H
CHEC□ED B□□ D□C
DATE□ 2/14/18
SCA□E□ S□ PPP S□DE MAP
CAD □D□ □P0

P□□□ECT□

PROP. SITE PLAN DOCUMENTS
FOR
Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□□18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□E □□N□A□E□□□D□E□S
□ENSE N□MBE□□117874

SHEET T□T□E□:
PHASE II EROSION AND SEDIMENTATION CONTROL PLAN - SWPPP SITE MAP

SHEET N□MBE□□
SW-4

H:\37-TD178006-D□A□N□S\P□AN SETS-TD178006□P□D□□□P□□NTED B□□C□□NE□S 4.06.18 □ 8:32 AM □AST SA□E□D B□□MHA□BE□T

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR ESTIMATED PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS																								
TEMPORARY CONTROL MEASURES																								
SEDIMENT CONTROL BASIN(S)/TRAP(S)																								
STRIP & STOCKPILE TOPSOIL																								
ROUGH GRADING																								
STORM FACILITIES																								
SITE CONSTRUCTION																								
FINISH GRADING																								
PERMANENT CONTROL STRUCTURES																								
FOUNDATION / BUILDING CONSTRUCTION																								
LANDSCAPING/SEED/FINAL STABILIZATION																								

1) CONTRACTOR MUST COMPLETE TABLE WITH ESTIMATED DATES OF PROJECT ACTIVITIES PRIOR TO BMP CERTIFICATION.
2) TIME SCHEDULE MUST COINCIDE WITH THE SWPPP IMPLEMENTATION SEQUENCE.

LAST REVISED: APRIL 30, 2011 | WAL-MART STANDARD DETAIL

ACREAGE SUMMARY
(IN ACRES)

1	WAL-MART/SAM'S PROPERTY AREA	21.0
2	PERMITTED AREA WITHIN WAL-MART PROPERTY	2.0
3	PERMITTED AREA OUTSIDE OF WAL-MART PROPERTY	0.0
4	TOTAL PERMITTED PROJECT AREA (MUST MATCH NOI)	2.0
5	IMPERVIOUS AREA BEFORE PROJECT	2.0
6	IMPERVIOUS AREA AT COMPLETION	1.5
7	PERVIOUS AREA AT COMPLETION	0.5

LAST REVISED: JUNE 2013 | WAL-MART STANDARD DETAIL

OFF-SITE RUN-ON SUMMARY

OFF-SITE DRAINAGE AREA	FLOW (CFS)	AREA (ACRES)	AVERAGE SLOPE	MAXIMUM SLOPE	COVER TYPE
N/A	N/A	N/A	N/A	N/A	N/A

NO OFF-SITE RUN-ON OCCURS.

LAST REVISED: JUNE 2012 | WAL-MART STANDARD DETAIL

RUNOFF COEFFICIENT SUMMARY

PRE-CONSTRUCTION RUNOFF COEFFICIENT:	"C" = 0.86
POST-CONSTRUCTION RUNOFF COEFFICIENT :	"C" = 0.81

LAST REVISED: JUNE 2012 | WAL-MART STANDARD DETAIL

SITE LOCATION SUMMARY

ADDRESS:	6360 LAKE WORTH BLVD, LAKE WORTH, TX TX 76135
CENTER OF SITE:	
LATITUDE:	32°48'39.95" N
LONGITUDE:	97°25'36.26" W
ADJACENT SURROUNDING PROPERTIES:	WALMART SUPERCENTER IS LOCATED TO THE NORTH OF THE PROPOSED FUELING STATION. A BANK OF AMERICA IS LOCATED TO THE WEST OF THE PROPOSED SITE. RETAIL SHOPS ARE LOCATED TO THE EAST OF THE SITE ALONG LAKE WORTH BLVD.

LAST REVISED: JUNE 2012 | WAL-MART STANDARD DETAIL

SITE TOPOGRAPHY SUMMARY

LOWEST ELEVATION OF PROJECT SITE:	680.99'
HIGHEST ELEVATION OF PROJECT SITE:	694.03'
PERCENT SLOPE VARIATION:	THE EXISTING GRADE VARIES FROM 1.1% TO 4.8% SLOPE ACROSS THE SITE.
TOPOGRAPHY CHANGES:	TOPOGRAPHY WILL BE MINIMALLY IMPACTED.
VEGETATION:	EXISTING VEGETATION CONSISTS OF FRONTAGE LANDSCAPING WITH TREES. FRONTAGE TREES WILL BE REMOVED, BUT THE PROPOSED VEGETATION WILL INCREASE LANDSCAPED AREA WITH NEW SITE LAYOUT.
AVERAGE SLOPE:	2.25%

LAST REVISED: JUNE 2013 | WAL-MART STANDARD DETAIL

SITE SOILS SUMMARY

SOIL TYPE AND TEXTURE:	THROUGH BORINGS BY ECS SOUTHWEST, LLP., THE PROJECT AREA CONSISTED OF FAT CLAYS CONSISTING OF DARK BROWN COLORS.
AVERAGE DEPTH OF TOPSOIL:	THE AVERAGE DEPTH OF TOPSOIL IS 5.8 FEET PER BORING LOGS FROM ECS SOUTHWEST, LLP.
AVERAGE DEPTH TO GROUNDWATER:	NO GROUNDWATER WAS ENCOUNTERED WHEN BORINGS WERE PERFORMED BY ECS SOUTHWEST, LLP. THE DEEPEST BORING WAS 25 FEET.

NOTE: THE ABOVE SOILS INFORMATION IS FOR INFORMATION ONLY AND SHOULD NOT BE USED FOR BIDDING PURPOSES, CONSTRUCTION COSTS OR ESTIMATING.

LAST REVISED: JUNE 2012 | WAL-MART STANDARD DETAIL

SITE RAINFALL SUMMARY

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
AVGERAGE RAINFALL IN INCHES	2.5	1.8	3.1	3.3	5.5	3.7	2.0	2.0	3.0	3.6	2.7	2.1

THE TOTAL AVERAGE ANNUAL RAINFALL FOR THE PROJECT AREA IS: 35.3 INCHES

THE DESIGN RAIN EVENT FOR THE PROJECT IS A 100 YR STORM.

LAST REVISED: JUNE 2012 | WAL-MART STANDARD DETAIL

OWNER/DEVELOPER:
WAL-MART STORES TEXAS LLC
P.O. BOX 8050
BENTONVILLE, AR
72712-8055
(479) 204-0070

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SCHEDULES, INFORMATION, AND SUMMARY TABLES

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN BUILDING DESIGN TRANSPORTATION SERVICES
□PSTATE NE□ □□□□
NE□ EN□ AND ENVIRONMENT□
NE□ STON□ MET□□
NE□ □□□□
NE□ □□□□
NE□ □□□□
□EH□H A□E□ PA
S□THEASTE□N PA
□ITS□BURGH PA
BAT□M□□E MD
S□THE□N MA□□LAND
N□W JE□SEY NJ
CENT□AL□□□□ N/A
□EH□H A□E□ PA
S□THEASTE□N PA
□ITS□BURGH PA
BAT□M□□E MD
S□THE□N MA□□LAND
N□W JE□SEY NJ
CENT□AL□□□□ N/A
S□THF□□ DA
S□LLAS FT. □□□TH, T□
THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION FROM BOHLER ENGINEERING. THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION FROM BOHLER ENGINEERING.

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D N□ □□CAT□N □E□S□N	M□H

811
□N□□ □HAT'S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

N□T APP□□□ED F□□ C□NST□□CT□N

P□□□ECT No.□ TD178006
D□A□N B□□ M□H
CHEC□ED B□□ D□C
DATE□ 2/14/18
SCA□E□ 1"□20□
CAD □D□ □P0_

P□□□ECT□ PROP. SITE PLAN DOCUMENTS FOR

Walmart
Save money. Live better.

LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□ 18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E□ □□N□A□E□□□D□ES
□□CENSE N□MBE□ 117874

SHEET T□T□E□
SCHEDULES, INFORMATION, AND SUMMARY TABLES
SHEET N□MBE□□
SW-5

NOTES:

1. IMPORTANT: GC SHALL NOT APPLY FLOCCULANTS WITHOUT PREVIOUS REVIEW AND WRITTEN CONFIRMATION BY CEC. FLOCCULANTS MUST BE USED ONLY IN LOCATIONS SHOWN ON THE SWPPP MAPS, AT RATES AND METHODS SPECIFIED AND AS APPROVED BY CEC. CEC SHALL CONFIRM WHETHER TO FOLLOW MANUFACTURER DIRECTION, OR MODIFY MANUFACTURER'S DIRECTION.
2. FLOCCULANTS SHALL BE USED AS FAR UPSTREAM OF BASINS, TRAPS, TANKS, OR OTHER WATER CONTAINMENT AREAS AS POSSIBLE. THE EFFECTIVENESS OF FLOCCULANTS DEPENDS ON THE TRAVEL TIME AND AGITATION OF THE WATER, FOR PROPER MIXING.
3. ALL SEDIMENTATION/SETTLING MUST OCCUR WITHIN THE LOD. THAT IS, VELOCITY OF FLOW IN WATER CONTAINMENT SHOULD BE NEAR ZERO, AND THE TIME OF RESIDENCE AS LONG AS POSSIBLE.
4. FLOC BLOCKS, FLOCCULANT-IMPREGNATED WATTLES, AND ANY OTHER CONTROL MEASURES WHICH SUPPLY FLOCCULANTS MUST BE REGULARLY INSPECTED AND MAINTAINED, AS ARE ALL OTHER CONTROL MEASURES.
5. STANDARD EROSION AND SEDIMENT CONTROLS ARE REQUIRED BOTH PRIOR TO AND AFTER CHEMICAL TREATMENT IN ACCORDANCE WITH THE SWPPP PLANS.

CHEMICALLY-ENHANCED SETTLING PASSIVE TREATMENT SYSTEMS

SOURCE BOX
WAL-MART STANDARD DETAIL

NOTES:

1. SUBSTANCES THAT HAVE THE POTENTIAL FOR POLLUTING SURFACE AND/OR GROUNDWATER MUST BE CONTROLLED BY ANY MEANS NECESSARY TO ENSURE THAT THOSE DO NOT DISCHARGE FROM THE SITE. IN THIS REGARD, POTENTIALLY POLLUTING SUBSTANCES SHALL BE STORED AND HANDLED IN A MANNER CONSISTENT WITH THE RISK OF IMPACT THOSE REPRESENT, AND ACCORDING WITH THE REGULATIONS.
2. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE. THE CONTAINERS SHALL BE HAULED AWAY FROM THE SITE AND EMPTIED WHEN THOSE BECOME 95% FULL, OR AS NECESSARY, BY A CERTIFIED TRASH DISPOSAL SERVICE. LIDS OR COVERS FOR THE CONTAINERS SHALL BE PROVIDED FOR USE DURING RAIN EVENTS TO PREVENT WASTE CONTACT WITH STORMWATER. WASTES THAT CANNOT BE STORED IN A CONTAINER MUST BE STORED UNDER COVER OR INDOORS. THE LOCATION OF SOLID WASTE RECEPTACLES SHALL BE SHOWN ON THE SITE MAPS.

SOLID WASTE DISPOSAL

SOURCE BOX
WAL-MART STANDARD DETAIL

NOTES:

1. CONTRACTOR SHALL PROVIDE DESIGNATED LOCATION FOR SORTING AND SEPARATING HAZARDOUS WASTES.
2. HAZARDOUS WASTE STORAGE MUST BE PROTECTED FROM WEATHER ELEMENTS AND HAVE RESTRICTED ACCESS.
3. HAZARDOUS WASTE STORAGE MUST COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
4. HAZARDOUS WASTE STORAGE MUST COMPLY WITH CONTRACT DOCUMENTS.

HAZARDOUS WASTE DISPOSAL

SOURCE BOX
WAL-MART STANDARD DETAIL

NOTES:

1. ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. PORTABLE TOILETS MUST BE LOCATED AT LEAST 30 FEET FROM INLETS, CHANNELS, SWALES, OR PERMITTED LIMITS OF DISTURBANCE, AND MUST BE LOCATED AT LEAST 50 FEET FROM WATERS OF THE STATE, OR WATERS OF THE U.S.. PORTABLE TOILETS MUST BE SECURELY ANCHORED AND/OR TIED DOWN. SECONDARY CONTAINMENT SHALL BE PROVIDED AND FULL CAPACITY SHALL BE RESTORED IMMEDIATELY UPON DISCOVERY OF ITS DIMINISHMENT. THE LOCATION OF SANITARY FACILITIES SHALL BE SHOWN ON THE SITE MAPS.

(SAF) SANITARY FACILITIES

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL

NOTES:

1. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.

(TP) TEMPORARY PARKING

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL

NOTES:

1. VERIFY WITH CEC WHICH DISCHARGES FROM DEWATERING ACTIVITIES ARE ALLOWED OR ARE NOT ALLOWED NON-STORMWATER DISCHARGES UNDER THE GENERAL PERMIT AND OTHER REGULATIONS. OBTAIN ALL DEWATERING PERMITS AND AUTHORIZATIONS REQUIRED BY STATE AND LOCAL REGULATIONS. SEE THE REQUIRED DEWATERING PERMITS AND AUTHORIZATIONS TABLE BELOW. GC MUST COMPLETE COLUMNS 3 AND 4.
2. GC MUST WAIT TO HAVE WRITTEN COPY OF ALL REQUIRED DEWATERING PERMITS AND AUTHORIZATIONS BEFORE PERFORMING DEWATERING ACTIVITIES.
3. DISCHARGES FROM DEWATERING OPERATIONS MUST BE DIRECTED THROUGH AN APPROPRIATE POLLUTION PREVENTION/TREATMENT SYSTEM OF CONTROL MEASURES, SUCH AS A SEDIMENT/FILTER BAG, SEDIMENT TRAP OR SEDIMENT BASIN, AND OTHERS, AS NEEDED, PRIOR TO BEING DISCHARGED FROM THE SITE OR INTO A WATER BODY OF THE STATE. UNDER NO CIRCUMSTANCES ARE DISCHARGES FROM DEWATERING OPERATIONS TO BE DISCHARGED DIRECTLY INTO SANITARY SEWER SYSTEMS, STREAMS, RIVERS, LAKES OR OTHER AREAS BEYOND THE PERMITTED PROJECT AREA. LIKEWISE, DISCHARGES INTO STORM SEWER SYSTEMS THAT DO NOT DRAIN TO A SUITABLE ON-SITE TREATMENT FACILITY, SUCH AS A BASIN, ARE ALSO PROHIBITED. DISCHARGES FROM DEWATERING OPERATIONS MUST ALSO BE CONDUCTED IN A MANNER SUFFICIENT TO PREVENT EROSION FROM THE DISCHARGE RUNOFF.
4. IN SEDIMENT TRAP OR BASIN OR POND DEWATERING OPERATIONS, WATER MUST ONLY BE REMOVED FROM THE SURFACE OF THE CONTAINED WATER. A SKIMMER OR SIMILAR FLOATING DEVICE MUST BE USED, TO ONLY REMOVE THE WATER AT THE SURFACE.
5. DO NOT DISCHARGE ON A SLOPE GREATER THAN THREE PERCENT NOR WITHIN 20 FEET OF A SURFACE WATER BODY.
6. DEWATERING SHALL NOT OCCUR DURING OR IMMEDIATELY AFTER PRECIPITATION EVENTS, BUT EXCEPTIONS SHALL BE EVALUATED ON CASE BY CASE BASIS. CONTACT THE CEC AND RECEIVE WRITTEN APPROVAL.

REQUIRED DEWATERING PERMITS AND AUTHORIZATIONS			
1	2	3	4
GOVERNING AGENCY	PERMIT NAME/TYPE	PERMIT NO. (GC TO COMPLETE)	DATE PERMIT WAS ISSUED BY AGENCY (GC TO COMPLETE)

(DW) DEWATERING

SOURCE BOX	
LAST REVISED: JUNE 2012	WAL-MART STANDARD DETAIL

NOTES:

1. MATERIAL STORAGE AREAS SHOULD BE LOCATED, WHEN POSSIBLE, TO MINIMIZE EXPOSURE TO WEATHER. INSPECTIONS SHALL EVALUATE DISTURBED AREAS AND AREAS USED FOR STORING MATERIALS THAT ARE EXPOSED TO RAINFALL FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM OR DISCHARGING FROM THE SITE. IF NECESSARY, THE MATERIALS MUST BE COVERED OR ORIGINAL COVERS MUST BE REPAIRED OR SUPPLEMENTED. ALSO, PROTECTIVE BERMS MUST BE CONSTRUCTED, IF NEEDED, TO CONTAIN RUNOFF FROM MATERIAL STORAGE AREAS. GC SHALL ADHERE TO ALL STATE AND LOCAL REGULATIONS PERTAINING TO MATERIAL STORAGE AREAS.
2. CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIALS MUST BE STORED IN WATERPROOF CONTAINERS. EXCEPT DURING APPLICATION, THE CONTAINERS AND THE CONTENTS MUST BE KEPT IN TRUCKS OR INSIDE OF STORAGE FACILITIES. RUNOFF CONTAINING SUCH MATERIAL MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED, AND DISPOSED OF AT AN APPROVED SOLID WASTE AND CHEMICAL DISPOSAL FACILITY.

(MLSA) MATERIAL LAYDOWN AND STORAGE AREA

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL

NOTES:

1. CONCRETE WASTE MANAGEMENT PERTAINS TO WASTE FROM CONCRETE READY-MIX TRUCKS, MASONRY OPERATIONS, AND SIMILAR WASTE.
2. DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS IS ALLOWED AT THE CONSTRUCTION SITE. ONLY COMMERCIALLY AVAILABLE ABOVE GROUND PORTABLE CONCRETE WASHOUT CONTAINERS ARE ALLOWED AND MUST BE PROTECTED FROM VEHICLE TRAFFIC AND CLEARLY IDENTIFIED BY LEGIBLE SIGNAGE, AND MUST BE LOCATED OUTSIDE OF VEGETATED BUFFERS AND AS FAR AS PRACTICABLE FROM STORMWATER CONVEYANCES AND IMPOUNDMENTS AND WATER BODIES. PORTABLE CONCRETE WASHOUT CONTAINERS SHALL CONTAIN AND/OR ACTIVELY MANAGE BOTH, SOLID AND FLUID, COMPONENTS OF THE MIX. CONCRETE WASHOUT CONTAINERS MUST BE CLEANED OR EXCHANGED WHEN THE REMAINING VOLUME IS REDUCED BY 85% TO PREVENT ANY POTENTIAL OVERFLOW IN A STORM EVENT.
3. ALTERNATIVELY, WASTE CONCRETE CAN BE PLACED INTO FORMS TO MAKE RIP RAP AND/OR OTHER USEFUL CONCRETE PRODUCTS. PORTABLE CONCRETE WASHOUT CONTAINERS SHALL BE DISPOSED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE GC IS RESPONSIBLE FOR ASSURING THAT THESE PROCEDURES, APPLICABLE LAWS, AND ENVIRONMENTAL REGULATIONS ARE FOLLOWED. THE LOCATION OF CONCRETE WASHOUT CONTAINERS SHALL BE SHOWN ON THE SITE MAPS.

(CW) CEMENT AND CONCRETE WASHOUT

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL

NOTES:

1. PROVIDE WASH STATION IN A LOCATION PROTECTED FROM WEATHER ELEMENTS.
2. COLLECT ALL USED WASH WATER AND DISPOSE OF IT PROPERLY.
3. PROVIDE ADEQUATE SUPPLY OF WATER AND ANY OTHER SUPPLIES TO ENSURE PROPER OPERATION OF WASH STATION WHEN NEEDED.

(PSW) PAINT AND STUCCO WASHOUT

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL

NOTES:

1. ALL ON-SITE TOPSOIL MUST BE PRESERVED FOR REUSE ON THE SITE DURING REVEGETATION, UNLESS IT IS INFEASIBLE OR UNREASONABLE TO DO SO. (NOTE: TOPSOIL STOCKPILING ON-SITE MAY BE INFEASIBLE IF SPACE IS NOT AVAILABLE ON-SITE FOR TOPSOIL STOCKPILING OR IF LITTLE TO NO VEGETATION IS TO REMAIN UNDER POST-CONSTRUCTION CONDITIONS. STOCKPILING OF TOPSOIL AT AN OFF-SITE LOCATION OR TRANSFER OF TOPSOIL TO OTHER LOCATIONS MAY ALSO BE ACCEPTABLE BUT MUST BE AUTHORIZED BY THE CEC).
2. ALL SOIL STOCKPILES MUST BE STABILIZED TO PREVENT EROSION AND FUGITIVE DUST. THE SURFACE OF THE STOCKPILE MUST BE PROPERLY PROTECTED TO ELIMINATE THE RISK OF EROSION. SEE TEMPORARY SEEDING OR STABILIZATION DETAIL. SUITABLE ALTERNATIVE MEANS OF STABILIZATION CAN BE USED, SUCH AS PROPERLY ANCHORED PLASTIC TARPS.
3. PERIMETER SEDIMENT CONTROLS ALSO MUST BE INSTALLED AT STOCKPILE LOCATIONS TO PREVENT CONTACT WITH STORMWATER, INCLUDING RUN-ON.
4. STOCKPILES MUST BE LOCATED OUTSIDE OF ANY VEGETATED BUFFER AREAS AND SHOULD BE LOCATED AS FAR AS PRACTICABLE FROM STORMWATER CONVEYANCES AND IMPOUNDMENTS AND WATER BODIES.
5. STOCKPILE LOCATIONS SHALL BE NOTED ON THE SITE MAPS.

(SP) STOCKPILES

SOURCE BOX	
LAST REVISED: JUNE 2012	WAL-MART STANDARD DETAIL

NOTES:

1. LARGE AREAS OF SOIL THAT ARE DENUDED OF VEGETATION AND HAVE NO PROTECTION FROM PARTICLES BEING PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER OR OTHER SOIL ADHERING PRODUCTS TO PREVENT SOIL PARTICLES FROM BECOMING AIRBORNE, AND FROM EXITING THE SITE PERIMETER.
2. WATER TRUCKS OR OTHER DUST CONTROL AGENTS SHALL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATED ON THE SITE. TACKIFIERS MAY BE USED TO HOLD SOIL IN PLACE AND PREVENT DUST. MANUFACTURER RECOMMENDATIONS FOR APPLICATION LOCATIONS AND RATES MUST BE USED FOR DUST CONTROL APPLICATIONS. ONLY SWPPP-SPECIFIED TACKIFIERS MAY BE USED ON THE PROJECT SITE; ANY CHEMICAL APPLICATION NOT INCLUDED IN THE SWPPP MUST BE APPROVED, IN WRITING, BY THE CEC.
3. DUST CONTROL MUST BE PROVIDED BY THE GC TO A DEGREE THAT IS IN COMPLIANCE WITH APPLICABLE FEDERAL, LOCAL AND STATE DUST CONTROL REGULATIONS.
4. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
5. IN ADDITION TO BMPS, GC SHALL PERFORM PER PRACTICES AND PROCEDURES WHICH MINIMIZE AND PREVENT AIRBORNE DUST OR OTHER PARTICLES FROM OCCURRING.

(DC) DUST CONTROL

SOURCE BOX	
LAST REVISED: JUNE 2012	WAL-MART STANDARD DETAIL

NOTES:

1. THE GC SHALL IDENTIFY FUELING AREAS WITH LEGIBLE SIGNAGE ON THE SITE. TEMPORARY ON-SITE FUEL TANKS FOR CONSTRUCTION VEHICLES SHALL MEET ALL LOCAL, STATE AND FEDERAL REGULATIONS. ALL TANKS, SINGLE AND DOUBLE WALLED, SHALL BE PROVIDED WITH SECONDARY CONTAINMENT (THAT IS CONTAINMENT EXTERNAL TO AND SEPARATE FROM PRIMARY CONTAINMENT). TANKS SHALL HAVE APPROVED SPILL CONTAINMENT WITH THE CAPACITY REQUIRED BY THE APPLICABLE REGULATIONS. SECONDARY CONTAINMENT SHALL BE CONSTRUCTED OF MATERIALS OF SUFFICIENT THICKNESS, DENSITY, AND COMPOSITION SO AS NOT TO BE STRUCTURALLY WEAKENED AS A RESULT OF CONTACT WITH THE FUEL STORED AND CAPABLE OF CONTAINING DISCHARGED FUEL FOR A PERIOD OF TIME EQUAL TO OR LONGER THAN THE MAXIMUM ANTICIPATED TIME SUFFICIENT TO ALLOW RECOVERY OF DISCHARGED FUEL. IT SHALL BE CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE PRIMARY TANK IF A SINGLE TANK IS USED, OR IN THE CASE OF MULTIPLE TANKS, 150% OF THE LARGEST TANK OR 110% OF THE AGGREGATE, WHICHEVER IS LARGER.
2. THE TANKS SHALL BE IN SOUND CONDITION, FREE OF RUST OR OTHER DAMAGE WHICH MIGHT COMPROMISE CONTAINMENT. FUEL STORAGE AREAS SHALL MEET ALL EPA, OSHA AND OTHER REGULATORY REQUIREMENTS FOR SIGNAGE, FIRE EXTINGUISHERS, ETC. HOSES, VALVES, FITTINGS, CAPS, FILLER NOZZLES, AND ASSOCIATED HARDWARE SHALL BE MAINTAINED IN PROPER WORKING CONDITION AT ALL TIMES. TANKS SHALL BE LOCATED TO MINIMIZE EXPOSURE TO WEATHER AND SURFACE WATER DRAINAGE FEATURES. THE LOCATION OF FUEL TANKS SHALL BE SHOWN ON THE SITE MAPS.
3. A SPILL PREVENTION, CONTROL AND COUNTERMEASURE (SPCC) PLAN MUST BE DEVELOPED IF ABOVEGROUND OIL STORAGE CAPACITY AT THE CONSTRUCTION SITE EXCEEDS 1,320 GALLONS OR AS SPECIFIED BY STATE.
4. CONTAINERS WITH A STORAGE CAPACITY OF 55-GALLONS OR LESS ARE NOT INCLUDED WHEN CALCULATING SITE STORAGE CAPACITY. THE GC SHALL WORK WITH THE CEC TO DEVELOP AND IMPLEMENT A SPCC PLAN IN ACCORDANCE WITH THE OIL POLLUTION PREVENTION REGULATION AT TITLE 40 OF THE CODE OF FEDERAL REGULATIONS, PART 112, (40 CFR 112).

(FPSU) FUEL AND PETROLEUM STORAGE AND USE

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL

NOTES:

1. THE GC SHALL DESIGNATE AREAS ON THE SITE MAPS FOR EQUIPMENT CLEANING, MAINTENANCE, AND REPAIR. THE GC AND SUBCONTRACTORS SHALL UTILIZE SUCH DESIGNATED AREAS. CLEANING, MAINTENANCE, AND REPAIR AREAS SHALL BE PROTECTED BY A TEMPORARY PERIMETER BERM, SHALL NOT OCCUR WITHIN 150 FEET OF ANY WATERWAY, WATER BODY OR WETLAND, AND SHALL OCCUR IN AREAS LOCATED AS FAR AS PRACTICAL FROM STORM SEWER INLETS. DRIP PANS SHALL BE USED FOR VEHICLE MAINTENANCE ACTIVITIES AND RESULTANT WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH THE HAZARDOUS MATERIAL MANAGEMENT AND SPILL REPORTING PLAN NOTES INCLUDED ON THIS PLAN SHEET.
2. USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED (FOR EXAMPLE, WASHING VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.). ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

(EMA) EQUIPMENT AND VEHICLE CLEANING AND MAINTENANCE AREAS

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL

NOTES:

1. THE GC SHALL IDENTIFY MASONS' AREA WITH LEGIBLE SIGNAGE ON THE SITE. TO THE EXTENT PRACTICAL, ALL MASONRY TOOLS, MATERIAL, INCLUDING SAND AND SACKED CEMENT AND/OR MORTAR MATERIALS, MIX, AND EQUIPMENT SHALL BE LOCATED WITHIN THE AREA IDENTIFIED. MATERIALS VULNERABLE TO WEATHER ELEMENTS SHALL BE STORED IN CONTAINERS AT THE END OF EACH WORK DAY; SUCH MATERIALS SHALL REMAIN STORED IN CONTAINERS WHEN NOT IN USE.
2. RUNOFF CONTROL, SUCH AS DIVERSION BERMS, SILT FENCE, SILT DIKE, OR OTHER MEANS OF CONTAINMENT SHALL BE PROVIDED TO PREVENT THE MIGRATION OF STORMWATER POLLUTANTS FROM THE MASONS' AREA. COVERED RECEPTACLES FOR DEBRIS AND TRASH DISPOSAL SHALL ALSO BE PROVIDED.
3. THE MASONS' AREA SHALL MEET OSHA AND OTHER REGULATORY REQUIREMENTS FOR PERSONAL PROTECTIVE EQUIPMENT (PPE), FIRE EXTINGUISHERS, ETC. GC SHALL PROVIDE SCREENING OR OTHER TECHNOLOGIES FOR MASONS' AREA TO PREVENT AIRBORNE TRANSPORT OF CEMENT DUST AND OTHER PARTICULATES DUE TO HIGH SPEED WIND OR OTHER CONDITIONS. THE LOCATION OF THE MASONS' AREA SHALL BE SHOWN ON THE SITE MAPS.

(MA)

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL

NOTES:

1. USING WATER FROM BASINS, TRAPS, TANKS, OR OTHER WATER CONTAINMENT AREAS FOR IRRIGATION MINIMIZES DISCHARGES FROM THE SITE, AND IT MAY SATISFY OTHER NEEDS OF THE CONSTRUCTION PROJECT, SUCH AS DUST CONTROL, VEGETATIVE ESTABLISHMENT, ETC.
2. CARE SHOULD BE TAKEN THAT WATER UTILIZED FROM CONTAINMENT AREAS ON-SITE FOR CONSTRUCTION PURPOSES DOES NOT DISCHARGE OFF-SITE. IF DISCHARGE IS ANTICIPATED OR OBSERVED, DEWATERING PROCEDURES STATED IN THE DEWATERING DETAIL MUST BE FOLLOWED.
3. GC SHALL IMPLEMENT IRRIGATION OR DISPERSION AS PRACTICABLE TO REDUCE WATER VOLUME IN IMPOUNDMENTS AND TO FOSTER VEGETATION GROWTH.

(ID) IRRIGATION OR DISPERSION

SOURCE BOX	
LAST REVISED: JUNE 2012	WAL-MART STANDARD DETAIL

NOTES:

1. STORM DRAIN INLET PROTECTION MEASURES SHALL PREVENT SOIL AND DEBRIS FROM ENTERING STORM DRAIN INLETS.
2. TEMPORARY CONTROLS SHALL BE CONSTRUCTED BEFORE THE SURROUNDING AREA IS DISTURBED.
3. TO PREVENT CLOGGING, STORM DRAIN CONTROL STRUCTURES MUST BE MAINTAINED FREQUENTLY.
4. CHECK ALL TEMPORARY CONTROL MEASURES DAILY, AND AFTER EACH STORM EVENT.
5. CONTROL MEASURES MUST BE BUILT PER DETAIL AND PLANS, AND MUST BE IN GOOD WORKING CONDITION AT ALL TIMES.

(IP) INLET PROTECTION

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL

NOTES:

1. THIS SECTION INCLUDES THE CONTROLS OF POLLUTANTS OTHER THAN SEDIMENT AND ADDITIONAL REQUIREMENTS OF THE GENERAL PERMIT.

(OPC) OTHER POLLUTANT CONTROLS

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL

OWNER/DEVELOPER:
WAL-MART STORES TEXAS LLC
P.O. BOX 8050
BENTONVILLE, AR
72712-8055
(479) 204-0070

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SWPP PERFORMANCE STANDARDS

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING · PROGRAM MANAGEMENT · LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN · DEVELOPMENT SERVICES · TRANSPORTATION SERVICES
PSTATE NE□ □□□□
NE□EN□AND SCAPE ARCHITECTS
NE□TON□MET□□
NE□E□□□NC
NE□E□□□NC
EH□H□A□E□PA
S□THEASTERN PA
BUCKS□COUNTY PA
BALTIM□E MD
S□THE N MA□□AND
NEW JERSEY NJ
CENT□AL□□□□ N/A
S□THE RN NEW YORK
S□THFF□□ DA
S□LTLAS FT□□□TH, T□
TAMPA FL□A
CHA□□TTE, NC
RALEIGH, NC
THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D N□ □□CAT□N □E□S□N	M□H

811
□N□□ □HAT'S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

N□T APP□□□ED F□□ C□NST□□CT□N

P□□□ECT No.□	TD178006
D□A□N B□□	M□H
CHEC□ED B□□	D□C
DATE□	2/14/18
SCA□E□	1"□20□
CAD □D.□	□P0

P□□□ECT□
PROP. SITE PLAN DOCUMENTS
FOR
Walmart
Save money. Live better.

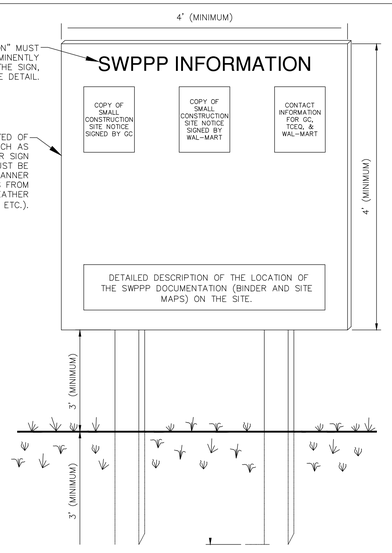
LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone□ (46□) 458-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□ 18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□□□D□□ES
□□CENSE N□MBE□ 117874

SHEET T□T□E□
SWPP PERFORMANCE STANDARDS

SHEET N□MBE□□
SW-6



NOTES:

1. THE SWPPP INFORMATION SIGN MUST BE LOCATED IN A PROMINENT, PUBLICLY ACCESSIBLE LOCATION NEAR THE MAIN ENTRANCE OF THE SITE, SUCH THAT THE DOCUMENTATION CAN BE READ WITHOUT ACCESSING THE JOBSITE, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A TRAFFIC SAFETY HAZARD.
2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION
3. ALL PAGES OF SMALL SITE NOTICE AND PERMIT AUTHORIZATIONS MUST BE POSTED. THE CONTRACTOR MAY UTILIZE ACCESSIBLE WATERPROOF FOLDERS TO STORE THESE DOCUMENTS IF IT WILL BE DIFFICULT TO POST ALL PAGES INDIVIDUALLY.
4. CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCIES. [ADD ANY OTHER APPLICABLE ITEMS HERE.]
5. SUBSEQUENT PERMIT MODIFICATION REQUESTS OR RENEWAL APPLICATIONS AND THEIR ASSOCIATED AUTHORIZATIONS OR RESPONSES SHALL BE POSTED ON THE SWPPP SIGN.
6. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
7. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

(SS) SWPPP INFORMATION SIGN
N.T.S.

SOURCE BOX	
LAST REVISED: JUNE 2012	WAL-MART STANDARD DETAIL

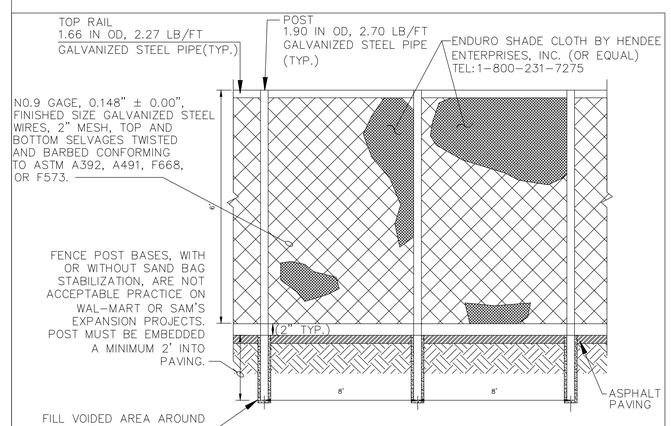
PERFORMANCE STANDARDS:

1. ALL SITE ACCESS MUST BE CONFINED TO THE CONSTRUCTION EXIT(S). BARRICADE TO PREVENT USE OF ANY LOCATIONS OTHER THAN THE CONSTRUCTION EXIT(S) WHERE VEHICLES OR EQUIPMENT MAY ACCESS THE SITE.
2. CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION FENCING, JERSEY BARRIERS, OR BOTH ALONG THE SIDES OF THE CONSTRUCTION EXIT TO PREVENT CONSTRUCTION TRAFFIC FROM SHORT CIRCUITING/BYPASSING THE EXIT.
3. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED. SEDIMENT TRAP SHALL BE LOCATED OUTSIDE OF THE RIGHT-OF-WAY AND AT A MINIMUM SETBACK DISTANCE AS REQUIRED PER LOCAL JURISDICTION.
4. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION EXIT(S) IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. ALL WASH WATER MUST BE ROUTED TO A SEDIMENT TRAP OR OTHER TREATMENT AREA AND SHALL NOT BE DIRECTLY DISCHARGED OFF-SITE.
5. LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT TRACKING BEYOND THE PERMITTED PROJECT AREA. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
6. ANY SEDIMENT DEPOSITED ON THE ROADWAY SHALL BE SWEPT AS NECESSARY (AND WITHIN THE SAME DAY AS DISCOVERY) AND DISPOSED OF IN AN APPROPRIATE MANNER. SEDIMENT SHALL NOT BE WASHED INTO STORM SEWER SYSTEMS.
7. EXIT(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD BEYOND THE EXIT(S). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT(S) AS CONDITIONS DEMAND.
8. CONTRACTOR SHALL BE PERMITTED TO TURN THE STONE WHEN THE SURFACE BECOMES SMOOTH AND SURFACE VOIDS ARE FILLED TO MAINTAIN EFFECTIVENESS OF CONSTRUCTION EXIT UNTIL SUCH TIME THAT VOIDS BELOW THE SURFACE BECOME FILLED AND THE CONSTRUCTION EXIT IS NO LONGER EFFECTIVE. AT SUCH A TIME THE CONTRACTOR SHALL REMOVE THE INEFFECTIVE STONE AND REPLACE PER DETAIL.
9. IF EXIT BMP IS STILL INEFFECTIVE, GC MUST CONTACT THE ENGINEER AND SUBMIT AN RFI AS NECESSARY.

NOTE TO GC: THE GOAL OF A CONSTRUCTION EXIT AND ASSOCIATED WHEEL WASH AREAS IS TO ELIMINATE TRACK OUT. SIMPLY MANAGING TRACK OUT THROUGH DESIGNATED OR CONTINUAL STREET SWEEPING IS NOT AN ACCEPTABLE PRACTICE. WHILE STREET SWEEPING IS AN ACCEPTABLE PRACTICE FOR REMOVING DUST AND MINIMAL AMOUNTS OF FINE SEDIMENT, OBSERVABLE TRACK OUT FROM THE PROJECT SHOULD TRIGGER THE USE OF ADDITIONAL MEASURES (WHEEL WASH). CONSIDERATION OF ALTERNATE EXITS, OR DISCONTINUING VEHICLE TRAFFIC UNTIL CONDITIONS ON-SITE HAVE IMPROVED. TRACK OUT IS A SEDIMENT RELEASE. ALL SEDIMENT RELEASES MUST BE REPORTED TO THE SWCT VIA THE ONLINE CRITICAL INCIDENT REPORT.

(CE) CONSTRUCTION EXIT

SOURCE BOX	
LAST REVISED: JUNE 2013	WAL-MART STANDARD DETAIL



(SAF) TEMPORARY FENCE
N.T.S.

SOURCE BOX	
LAST REVISED: SEPT.2007	WAL-MART STANDARD DETAIL

OWNER/DEVELOPER:
WAL-MART STORES TEXAS LLC
P.O. BOX 8050
BENTONVILLE, AR
72712-8055
(479) 204-0070

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

EROSION CONTROL BMP DETAILS

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
SUSTAINABLE DESIGN
PROGRAM MANAGEMENT
FIBER NETWORK SERVICES
LANDSCAPE ARCHITECTURE
TRANSPORTATION SERVICES
PSTATE NE□ □□□□
NE□ EN□ AND ST□N MA□□
NE□ ST□N MET□□
NE□ E□□□S□
NE□ E□□□S□
PH□ ADE PH□A, PA
EH□H A□E□, PA
S□THEASTE□N PA
DE□ ST□N NEW YORK DE
BA□TIM□□E MD
S□THE N MA□□□AND
N□RTHEA□ VA N/A
CENT□A□□□□ N/A
A□E□H, NC
CHA□□TTE, NC
A□TON, □A
TAMPA, F□□A
S□THF□□ DA
DALLAS FT□□□TH, T□

THE INFORMATION AND CONTENTS OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING. THE INFORMATION AND CONTENTS OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING

REVISIONS

□E□	DATE	C□MMENT	B□
1	4/5/18	B□□D N□ □□CAT□N □E□S□□N	M□H

□N□□ □HAT'S BE□□□
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

N□T APP□□□ED F□□
C□NST□□CT□N

P□□□ECT No.□	TD178006
D□A□ N B□□	M□H
CHEC□ED B□□	D□C
DATE□	2/14/18
SCA□E□	1" □20□
CAD □D□	0P0

P□□□ECT□

PROP. SITE PLAN DOCUMENTS
FOR
Walmart
Save money. Live better.

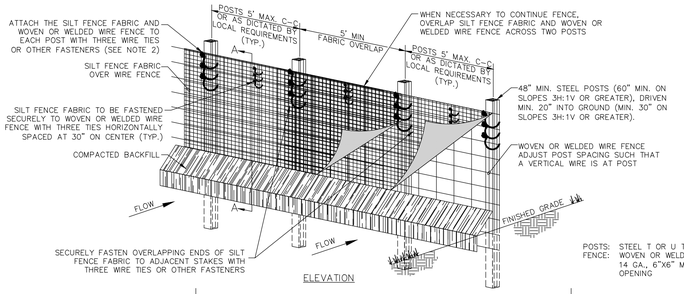
LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone: (46□) 459-7300
TX@BohlerEng.com
□E□ST□AT□N N□MBE□: 18065

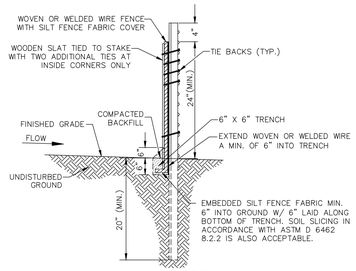
PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
□□□E □□N□A□E□□□D□ES
□□CENSE N□MBE□: 117874

SHEET T□T□E□
EROSION CONTROL DETAILS

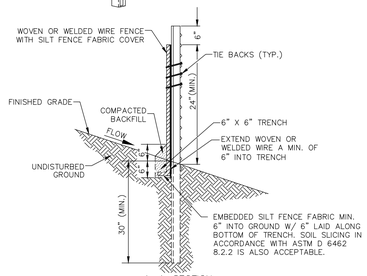
SHEET N□MBE□□
SW-7



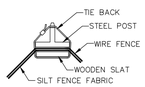
ELEVATION



A–A–SECTION
(FOR SLOPES LESS THAN 3:1)



A–A–SECTION
(FOR SLOPES 3:1 AND GREATER)



INSIDE CORNER – PLAN VIEW

TABLE 1 Temporary Silt Fence Material Property Requirements

		Test Method	Units	Supported[a] Silt Fence	Unsupported[a] Silt Fence	Type of Value
Grab Strength		ASTM D 4632	N (lbs)			
	Machine Direction			400 (90)	550 (90)	MARV
	X-Machine Direction			400 (90)	450 (90)	MARV
Permittivity[b]		ASTM D 4491	sec-1	0.05	0.05	MARV
Apparent Opening Size[b]		ASTM D 4751	mm (US Sieve #)	0.60 (30)	0.60 (30)	Max. ARV[c]
Ultraviolet Stability		ASTM D 4355	% Retained Strength	70% after 500 h. of exposure	70% after 500 h. of exposure	Typical

[a]Silt fence support shall consist of 14 gage steel wire with a mesh spacing of 150 mm (6 in.) or prefabricated polymer mesh of equivalent strength.
[b]These default values are based on empirical evidence with a variety of sediments. For environmentally sensitive areas, a review of previous experience and/or site or regionally specific geotextile tests in accordance with Test Method D 5141 should be performed by the agency to confirm suitability of these requirements.
[c]As measured in accordance with Test Method D 4632.
TABLE 1 TAKEN FROM ASTM D 6461–99 (2007)

SF — SEDIMENTATION/SILT FENCE WITH WIRE BACKING
N.T.S.

SPECIFICATIONS FOR SILT FENCE INSTALLATION

1. MATERIALS AND INSTALLATION SHALL COMPLY WITH ASTM D 6462 LATEST EDITION.
2. INSTALL SILT FENCE AT A FAIRLY LEVEL GRADE ALONG THE CONTOUR WITH THE ENDS CURVED UPHILL TO PROVIDE SUFFICIENT UPSTREAM STORAGE VOLUME FOR THE ANTICIPATED RUNOFF.
3. ATTACH THE GEOTEXTILE OR FABRIC TO THE WOVEN OR WELDED WIRE FENCE WITH THREE WIRE TIES OR OTHER FASTENERS (HORIZONTALLY SPACED EVERY 30"), ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART. AT EACH POST, ATTACH THE GEOTEXTILE OR FABRIC AND THE WOVEN OR WELDED WIRE FENCE TO THE POST AS PREVIOUSLY STATED. IN ADDITION, EACH TIE PLACED ON A POST SHOULD BE POSITIONED TO HANG ON A POST NIPPLE WHEN TIGHTENED TO PREVENT SAGGING.
4. WHEN TWO SECTIONS OF SILT FENCE FABRIC ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED A MINIMUM OF 60" ACROSS TWO POSTS, AS SHOWN.
5. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS THE STATIC SLICING EQUIPMENT IS UTILIZED TO INSTALL THE FENCE PER DETAIL, "SILT FENCE INSTALLATION (SLICING METHOD)".
6. WRAP APPROXIMATELY 6" OF FABRIC AROUND THE END POSTS AND SECURE WITH 3 TIES.
7. COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE FABRIC WITH THE FRONT WHEEL OF THE TRACTOR, SKID STEER, OR ROLLER EXERTING AT LEAST 60 POUNDS PER SQ. INCH. COMPACT THE UPSTREAM SIDE FIRST. COMPACT EACH SIDE TWICE FOR A TOTAL OF FOUR TRIPS.
8. ADD POST CAPS AS NEEDED BASED ON SITE CONDITIONS AND APPLICABLE AGENCY REQUIREMENTS.

MAINTENANCE NOTES

1. SILT FENCES SHALL BE INSPECTED ALONG ITS ENTIRETY AND MUST BE CLEANED WHEN SEDIMENT HAS ACCUMULATED TO ONE–THIRD THE HEIGHT OF THE SILT FENCE. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ON–THIRD THE HEIGHT OF THE SILT FENCE.
2. ALL MATERIAL EXCAVATED FROM BEHIND SILT FENCE SHALL BE STOCKPILED ON AN UPLAND PORTION OF THE SITE IF SUITABLE FOR REUSE.
3. SPECIAL ATTENTION SHOULD BE PAID TO ENSURE THAT NO UNDERMINING OF SILT FENCE HAS OCCURRED AND THAT NO BYPASS IS OCCURRING AT JOINING SECTIONS.
4. IF EXCESS SEDIMENT IS ACCUMULATING IN ANY SECTION OF SILT FENCE, THE CONTRACTOR SHOULD IMPLEMENT ADDITIONAL UPSTREAM STABILIZATION MEASURES OR ADDITIONAL BMPS (PENDING CEC APPROVAL) TO PREVENT EXCESSIVE BUILDUP ON SILT FENCE.
5. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.

PHASE I SILT FENCE				
SILT FENCE SECTION	TYPE (WIRE BACK OR SLICED)	SECTION LENGTH (FT)	DRAINAGE AREA (ACRES)	AVERAGE SLOPE OF AREA
SF1	WIRE BACK	242	0.54	3.14%
SF2	WIRE BACK	246	0.96	2.63%
SF3	WIRE BACK	232	0.41	1.59%
SF4	WIRE BACK	230	0.56	2.86%

PHASE II SILT FENCE				
SILT FENCE SECTION	TYPE (WIRE BACK OR SLICED)	SECTION LENGTH (FT)	DRAINAGE AREA (ACRES)	AVERAGE SLOPE OF AREA
SF1	WIRE BACK	242	0.54	3.14%
SF2	WIRE BACK	246	0.96	2.63%
SF3	WIRE BACK	232	0.41	1.59%
SF4	WIRE BACK	230	0.56	2.86%

SOURCE BOX

LAST REVISED:	WAL–MART STANDARD DETAIL
JUNE 2012	

NOTES:

1. THE GC IS REQUIRED TO, AT A MINIMUM, INITIATE SOIL STABILIZATION MEASURES IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT LIKELY RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS
2. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL NON–VEGETATED MEASURES, IF UTILIZED.
3. ALL DISTURBED AREAS MUST BE STABILIZED TEMPORARILY WITH THE USE OF FAST–GERMINATING ANNUAL GRASS/GRAIN VARIETIES APPROPRIATE FOR SITE SOIL AND CLIMATE CONDITIONS. MULCH IS REQUIRED FOR ALL SEEDING APPLICATIONS, AND ALL MULCH APPLICATIONS MUST INCLUDE A SUITABLE FORM OF MULCH ANCHORING TO MINIMIZE MOVEMENT OF MULCH BY WIND OR WATER.
4. ALTERNATIVE STABILIZATION MEASURES TO SEEDING, SUCH AS ANCHORED MULCH APPLICATION (WITHOUT SEEDING), MAY BE UTILIZED DURING PERIODS WHEN VEGETATIVE GROWTH IS UNLIKELY (E.G. WINTER MONTHS).
5. IT IS NOT ACCEPTABLE TO ALLOW BARE SOIL TO REMAIN EXPOSED AT ANY TIME DURING THE YEAR, REGARDLESS OF WEATHER/TEMPERATURE/SITE CONDITIONS.
6. ALTERNATIVE STABILIZATION MEASURES INCLUDE, BUT ARE NOT LIMITED TO: ANCHORED STRAW/HAY MULCH, WOOD CELLULOSE FIBER MULCH, SPRAY–ON SOIL GLUES/BINDERS, AND ROLLED EROSION CONTROL PRODUCTS.
7. ALL ROLLED EROSION CONTROL PRODUCTS SHALL HAVE CURRENT QDOR(TM) STATUS ISSUED BY THE EROSION CONTROL TECHNOLOGY COUNCIL (ECTC) PLUS ANY STATE OR AGENCY–SPECIFIC REQUIREMENTS. EVIDENCE OF QDOR(TM) APPROVAL SHALL ACCOMPANY THE PRODUCT SHIPPED TO THE JOBSITE FOR READY IDENTIFICATION BY THE CONTRACTOR OR AGENCY INSPECTOR.
8. ROLLED EROSION CONTROL PRODUCTS (NETS, BLANKETS, TURF REINFORCED MATES) AND VEGETATED AREAS NOT MEETING REQUIRED VEGETATIVE DENSITIES FOR FINAL STABILIZATION MUST BE INSPECTED DAILY. RILING, RUTTING AND OTHER SIGNS OF EROSION INDICATE THE SPECIFIED EROSION CONTROL DEVICE IS NOT FUNCTIONING OR INSTALLED PROPERLY AND/OR ADDITIONAL EROSION CONTROL DEVICES ARE WARRANTED.

TS — TEMPORARY SEEDING OR STABILIZATION
N.T.S.

SOURCE BOX

LAST REVISED:	WAL–MART STANDARD DETAIL
JUNE 2012	

NOTES:

1. CONSIDERATION MUST BE GIVEN TO ANTICIPATED CLIMATE AND SEASONAL CONDITIONS WHEN PLANTING SEED.
2. SEED SHALL BE FREE OF WEEDY SPECIES AND APPROPRIATE FOR SITE SOILS AND REGIONAL CLIMATE. SEED AND MULCH PER THE CONSTRUCTION DRAWINGS AND THE 02900 PLANTING SPECIFICATION IMMEDIATELY AFTER TOPSOIL IS APPLIED AND FINAL GRADE IS REACHED.
3. THE SITE HAS ACHIEVED FINAL STABILIZATION ONCE ALL AREAS ARE COVERED WITH BUILDING FOUNDATION OR PAVEMENT, OTHER LANDSCAPING COVER (STONE, MULCH, ETC.), OR HAVE A STAND OF GRASS WITH A MINIMUM OF 70 PERCENT DENSITY OVER THE ENTIRE VEGETATED AREA, OR GREATER IN ACCORDANCE WITH THE GENERAL PERMIT REQUIREMENTS.
4. VEGETATED AREAS MUST BE WATERED, FERTILIZED, AND RESEEDED AS NEEDED TO ACHIEVE THIS REQUIREMENT.
5. THE VEGETATIVE DENSITY MUST BE MAINTAINED THROUGH PROJECT COMPLETION TO BE CONSIDERED STABILIZED. AREAS PROTECTED BY EROSION CONTROL BLANKETS ARE NOT PERMANENTLY STABILIZED UNTIL THE APPLICABLE GENERAL PERMIT REQUIREMENT FOR FINAL VEGETATIVE DENSITY IS ACHIEVED.
6. RIP–RAP, MULCH, GRAVEL, DECOMPOSED GRANITE OR OTHER EQUIVALENT PERMANENT STABILIZATION MEASURES MAY BE EMPLOYED IN LIEU OF VEGETATION BASED ON SITE–SPECIFIC CONDITIONS, DESIGN AND GOVERNING AUTHORITY APPROVAL.
7. ALL VEGETATED AREAS SHALL BE INSPECTED REGULARLY TO CONFIRM THAT A HEALTHY STAND OF GRASS IS MAINTAINED.

SVR — SEEDING/VEGETATION REQUIREMENTS
N.T.S.

SOURCE BOX

LAST REVISED:	WAL–MART STANDARD DETAIL
JUNE 2012	

NOTES:

1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL NON–VEGETATED MEASURES, IF UTILIZED.
4. SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED.
5. AT THE COMPLETION OF GROUND–DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS IN THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (STONE, PAVEMENT, BUILDINGS, ETC.).
6. SEEDED AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR A ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE TACKIFIED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
7. ALL AREAS TO BE SEEDED MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS.
8. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PROVIDES PERMANENT STABILIZATION WITH A UNIFORM DENSITY GREATER THAN 70 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THIS AREA IS EXCLUSIVE OF AREAS THAT ARE COVERED WITH ROCK (CRUSHED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

PS — PERMANENT SEEDING, SOD OR MULCHING
N.T.S.

SOURCE BOX

LAST REVISED:	WAL–MART STANDARD DETAIL
JUNE 2012	

OWNER/DEVELOPER:
WAL–MART STORES TEXAS LLC
P.O. BOX 8050
BENTONVILLE, AR
72712–8055
(479) 204–0070

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

EROSION CONTROL DETAILS

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING · PROGRAM MANAGEMENT · LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN · FEASIBILITY STUDIES · TRANSPORTATION SERVICES
PENNSYLVANIA: EHDC HANOVER, PA · NEW JERSEY: EN STRATFORD, NJ · NEW YORK: EN ROCHESTER, NY · PENNSYLVANIA: STATE COLLEGE, PA · MARYLAND: BALTIMORE, MD · CONNECTICUT: HARTFORD, CT · MASSACHUSETTS: BOSTON, MA · ALABAMA: HUNTSVILLE, AL · CHATTANOOGA, TN · GEORGIA: ATLANTA, GA · TAMPA, FL
THE INFORMATION AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING

REVISIONS

REV	DATE	COMMENT	BY
1	4/5/18	BOND NOTE CHANGE	MJH

811
CALL 811 BEFORE YOU DIG
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No. TD178006
DRAWN BY MJH
CHECKED BY DJC
DATE 2/14/18
SCALE 1" = 20'
CAD FILE P0

PROJECT
PROP. SITE PLAN DOCUMENTS
FOR
Walmart
Save money. Live better.

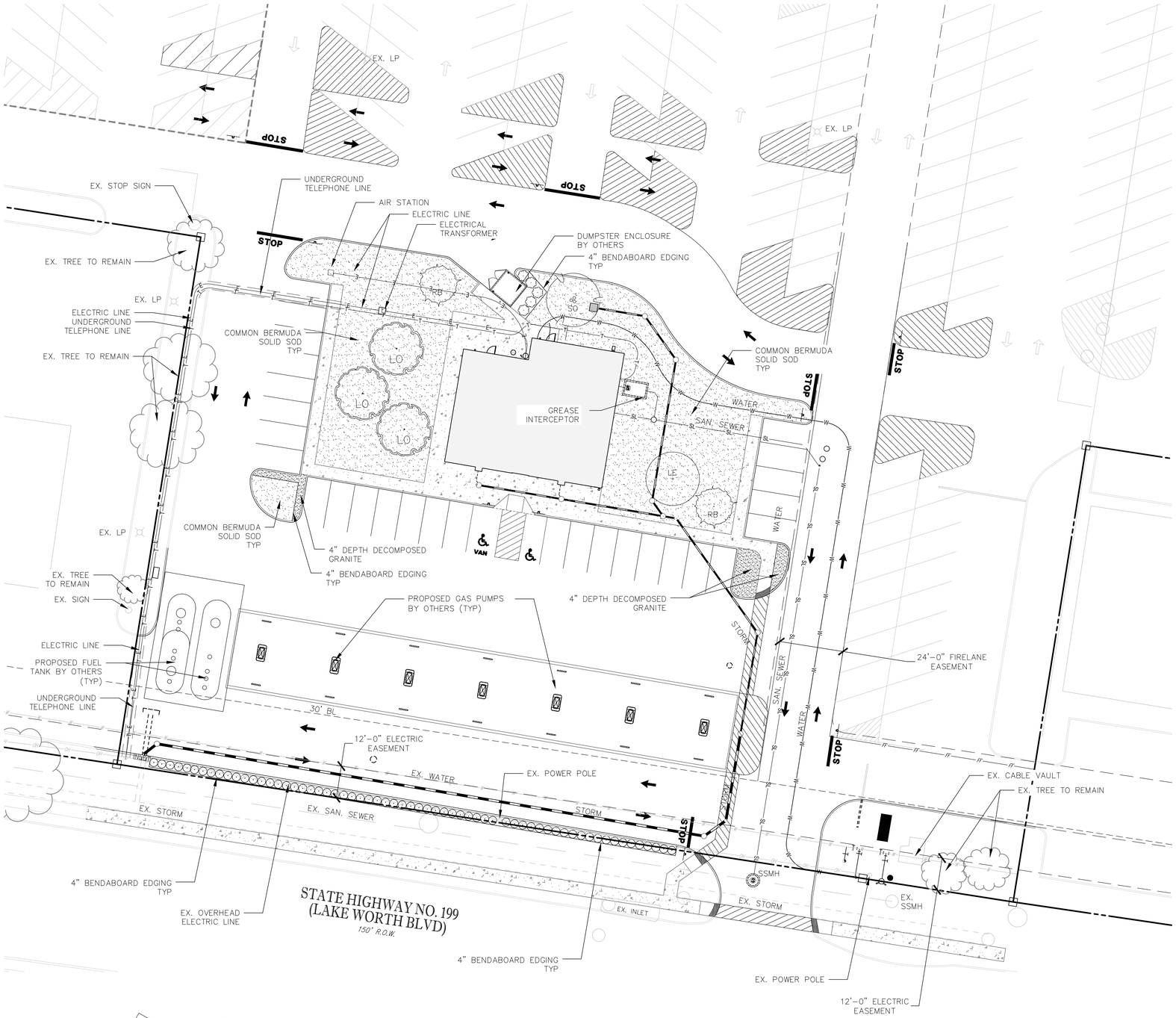
LOCATION OF SITE
STORE #0972
6364 LAKE WORTH BLVD
LAKE WORTH, TX 76135
LAKE WORTH TOWNE CENTER
BLOCK A, LOT 1R

BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 75034
Phone: (46) 456-7300
TX@BohlerEng.com
PROJECT STATUS: PROJECT NUMBER: 18065

PLANS PREPARED BY
BOHLER ENGINEERING
FOR REVIEW PURPOSES ONLY
PROFESSIONAL ENGINEER LICENSE NUMBER: 117874

SHEET TITLE
EROSION CONTROL DETAILS

SHEET NUMBER
SW-8



LANDSCAPE LEGEND

LO	LIVE OAK / QUERCUS VIRGINIANA (3" CALIPER)
LE	LACEBARK ELM / ULMUS PARVIFOLIA (3" CALIPER)
SO	SHUMARD OAK / QUERCUS SHUMARDII (3" CALIPER)
RB	FOREST PANSY REDBUD / CERCIS CANADENSIS 'FOREST PANSY' (2" CALIPER)
	DWARF BURFORD HOLLY / ILEX CORNUTA 'BURFORDII NANA' (5 GALLON)
	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS (5 GALLON)
	TIFF 419 BERMUDA SOLID SOD (MINIMUM 100% COVERAGE)
	DECOMPOSED GRANITE (4" DEPTH)

WARNING
EXISTING UNDERGROUND UTILITIES. FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION OR EXCAVATION.

ALERT TO CONTRACTOR:
18" WIDE MULCH STRIP IS REQUIRED BEHIND ALL CONCRETE CURBS/BUFFERS.

WHERE TURF GRASS WILL BE ESTABLISHED ADJACENT TO CONCRETE CURBS/ BUFFER, EITHER A 16" OR 24" (DEPENDENT ON AVAILABILITY) WIDE SOD STRIP IS REQUIRED.

STUDIO 13 DESIGN GROUP
Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900
TBAE Firm #BR643

REGISTERED LANDSCAPE ARCHITECT LEONARD W. REEVES 1977 STATE OF TEXAS
March 8, 2018

NORTH

20 10 0 20
1" = 20' - 0"
Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
One Inch

LANDSCAPE AND SCREENING

Landscape Plans

Walmart Refueling Station

City of Lake Worth, Tarrant County, Texas

#	PLAN REVIEW REVISIONS	BY	DATE
0			

PROJECT
BOH004

SHEET
L1 of 2

LANDSCAPE NOTES:

1. A TREE PERMIT IS REQUIRED FOR ALL REMOVAL OF ALL TREES, PROTECTED AND UNPROTECTED.
2. PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
3. ALL PLANT SUBSTITUTIONS ARE SUBJECT TO CITY OF LAKE WORTH APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
4. GROUND COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE CITY OF LAKE WORTH.
5. TREES MUST BE PLANTED FOUR FEET (4') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE CITY OF LAKE WORTH HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
6. TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
7. TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE "TRUNK FLARE".
8. THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
9. BURLAP, TWINE AND WIRE BASKETS SHALL BE LOOSENED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
10. TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
11. A 3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
12. NO PERSON(S) OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH A BACKHOE, OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREE.
13. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TO A DEPTH OF 8" MINIMUM.
14. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD OR OTHER MULCH.
15. TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
16. A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET AT TIME OF PLANTING.
17. TREES PLANTED ON A SLOPE SHALL HAVE THE SOIL STAIN AT THE AVERAGE GRADE OF SLOPE.
18. NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH. ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER OR SOME TYPE OF FIXED PAVING.
19. THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
20. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF LAKE WORTH.
21. LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OFF TRASH, LITTER AND WEEDS.
22. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
23. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON RIGHT-OF-WAY, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
24. NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE. 3' HORIZONTAL TO 1' VERTICAL.
25. EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLIPPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
26. ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
27. CONTACT CITY OF LAKE WORTH'S PLANNING DEPARTMENT AT FOR LANDSCAPE INSPECTION. NOTE LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR FINAL ACCEPTANCE BY THE CITY OF LAKE WORTH AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
28. FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, TO BE ACCESSIBLE, ADJUSTED TO GRADE AND TO THE CITY OF LAKE WORTH'S PUBLIC WORKS DEPARTMENT STANDARDS.
29. PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

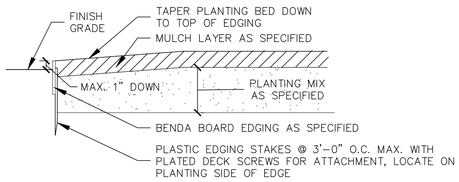
PLANT LIST

SYMBOL	COMMON/BOTANICAL NAME	SIZE	SPACING	QUANTITY	REMARKS
LO	LIVE OAK / QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	3	6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN,
LE	LACEBARK ELM / ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN	1	6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN,
CE	CEDAR ELM / ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	1	6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN,
RB	FOREST PANSY REDBUD / CERCIS CANADENSIS 'FOREST PANSY'	2" CALIPER	AS SHOWN	2	5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN
	DWARF BURFORD HOLLY / ILEX CORNUTA 'BURFORDII NANA'	5 GALLON	AS SHOWN	63	FULL PLANTS
	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	5 GALLON	AS SHOWN	5	FULL PLANTS
	COMMON BERMUDA SOLID SOD	SOLID SOD	SQUARE FEET	8,120	MINIMUM 100% COVERAGE
	DECOMPOSED GRANITE MULCH	4" DEPTH	CUBIC YARDS	3	4" DEPTH WITH FILTER FABRIC

GENERAL NOTES:
1. STABILIZE SOIL BELOW ROOT BALL PRIOR TO PLANTING TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL SHALL 1" TO 2" ABOVE FINISHED GRADE.
3. ALL WIRE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED COMPLETELY FROM ROOTBALL AND REMOVE TOP 1/3 OF BURLAP
4. PLANTING PITS SHALL BE SQUARE, SIDES OF PITS SHALL BE THOROUGHLY SCARIFIED/ROUGHENED TO ELIMINATE FLARED AS SHOWN IN TYPICAL DETAIL

GENERAL CONSTRUCTION NOTES

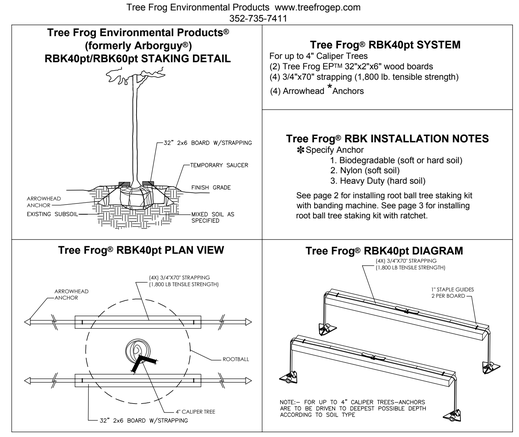
1. IT IS NOT THE INTENT OF THESE CONSTRUCTION NOTES TO COVER ALL DETAILS AND/OR SPECIFICATION REQUIREMENTS OF THE CITY OF LAKE WORTH. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF LAKE WORTH'S STANDARD SPECIFICATIONS, GENERAL DESIGN STANDARDS, ORDINANCES, RULES, POLICIES, REQUIREMENTS AND REGULATIONS, AS WELL AS ANY OTHER APPLICABLE STATE AND/OR FEDERAL RULES, REGULATIONS AND/OR REQUIREMENTS, AS THEY EXIST OR MAY BE AMENDED. ENGINEERING DRAWINGS SHALL GOVERN FOR CONSTRUCTION OF ALL CIVIL IMPROVEMENTS.
2. THE EXISTENCE AND LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN (MAIN LINES, NO LATERAL OR SERVICES SHOWN) ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO TRENCHING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL FRANCHISE AND CITY OF LAKE WORTH UTILITIES PRIOR TO CONSTRUCTION.
3. ANY CONTRACTOR / SUBCONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS. SAID EXISTING IMPROVEMENTS SHALL INCLUDE BUT NOT BE LIMITED TO BERMS, DITCHES, FENCES, AND PLANTS. ANY REMOVAL OR DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND SHALL BE APPROVED BY THE CITY OF LAKE WORTH.
4. ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL MEET OR EXCEED ALL REQUIREMENTS OF THE CITY OF LAKE WORTH. ALL SUBMITTALS MUST BE ORIGINALS WITH SIGNATURES WHERE APPLICABLE; FACSIMILES OR EMAILS SHALL BE FOLLOWED UP WITH ORIGINALS.
5. ALL TESTING SHALL BE DONE BY AN APPROVED LABORATORY AT THE EXPENSE OF THE CONTRACTOR. THE CITY OF LAKE WORTH WILL ONLY ACCEPT SIGNED ORIGINAL COPIES OF ALL TESTING REPORTS FOR REVIEW.
6. THE DEVELOPER OR HIS/HER DESIGNEE SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL HANDBOOK. ALL REFERENCE FOR USING TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) STANDARDS AND CONSTRUCTION DETAILS SHALL BE THE LATEST REVISIONS AND/OR AMENDMENTS THEREOF. THE CITY OF LAKE WORTH USES RAISED PAVEMENT MARKINGS (BUTTONS) FOR STRIPING AND THERMOPLASTIC MARKINGS IN LIEU OF PAINT. THE MINIMUM SIGN SIZE SHALL BE THE STANDARD SIZE IN THE MANUAL. DETAILS ARE AVAILABLE UPON REQUEST FOR THE TYPE OF BUTTON PATTERNS AND POSTS AND CONNECTIONS REQUIRED FOR THE SIGNS.
7. THE CONTRACTOR SHALL MAKE EVERY EFFORT NOT TO IMPEDE TRAFFIC ON EXISTING STREETS, ALLEYS, OR FIRELANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRELANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY OF LAKE WORTH. IF THE CLOSURE ELIMINATES THE SECOND POINT OF ACCESS TO EXISTING BUILDINGS WITH A CERTIFICATE OF OCCUPANCY, THEN THE ACCESS MAY NOT BE CLOSED FOR MORE THAN FORTY-EIGHT (48) HOURS AND WILL REQUIRE FIRE MARSHAL APPROVAL IN EITHER CASE. UNLESS OTHERWISE SPECIFIED BY THE CITY OF LAKE WORTH, ALL OTHER STREETS OR ALLEYS MAY NOT BE CLOSED FOR MORE THAN SEVENTY-TWO (72) HOURS.



1 / L1 TYPICAL BED EDGING DETAIL

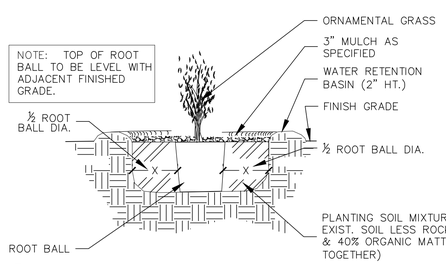
NOT TO SCALE

Tree Frog Environmental Products www.treefrogep.com
352-735-7411



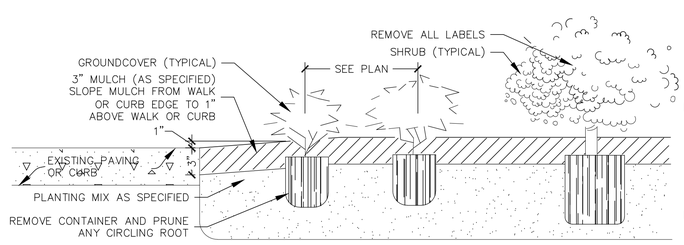
4 / L2 TREE PLANTING

NOT TO SCALE



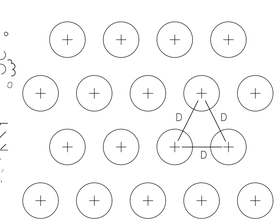
1 / L8 POCKET PLANTING ORNAMENTAL GRASS DETAIL

NOT TO SCALE



1 / L1 SHRUB AND GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



TRIANGULARLY SPACE ALL GROUND COVERS. D = GROUNDCOVER OR SHRUB SPACING AS NOTED.

STUDIO 13 DESIGN GROUP

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

REGISTERED LANDSCAPE ARCHITECT LEONARD W. REVES 1977 STATE OF TEXAS

March 8, 2018

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

LANDSCAPE AND SCREENING

Landscape Details

Walmart Refueling Station

City of Lake Worth, Tarrant County, Texas

#	PLAN REVIEW REVISIONS	BY	DATE
0			

PROJECT
BOH004

SHEET
L2 of 2

Plotted by: mhaubert Plot Date: 3/7/2018 5:30 PM

Drawing: H:\17\TD178006\Drawings\Plan Sets\Landscape\Lake Worth-LS.dwg Saved By: mhaubert Save Time: 3/7/2018 4:53 PM

CITY OF LAKE WORTH
NOTICE OF PUBLIC HEARING
PLANNING AND ZONING COMMISSION
AND CITY COUNCIL

ZONING DISTRICT CHANGE WITH LAND USE DESIGNATION
& DEVELOPMENT PLAN AND SITE PLAN AMENDMENT
PLANNING & ZONING CASE #PZ-2018-07

You may own property within two hundred feet (200') of the property described in the notice below. The owner of the lot has made application for a land use designation and site plan amendment. Attached you will find a map of the general location of the request. You are invited to attend and participate in the following public hearings regarding this application:

The Planning and Zoning Commission of the City of Lake Worth, Texas, will conduct the first of two public hearings at **6:30 p.m. on Tuesday, April 17, 2018**, at the Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135 to hear public comment and consider recommendations to the Planning and Zoning Commission regarding an Ordinance amending Ordinance No. 741, so as to change the zoning designation of an approximately 21.014-acre parcel of land, legally known as Block A, Lot 1R, Lake Worth Towne Center, Lake Worth, Tarrant County, Texas, being that all of the certain called 21.014-acre parcel of land recorded in the deed records of Tarrant County, Texas, from a zoning designation of "PC" – Planned Commercial for the use of a Walmart to a zoning designation of "PC" – Planned Commercial for the use of Retail for a Walmart Supercenter with a Fuel Station/Convenience Store, along with an amended development plan and site plan approval and by amending the Official Zoning Map to reflect such change. The property to be considered for re-zoning is generally described as 21.014-acre parcel of land located at 6360 Lake Worth Blvd., Lake Worth, Texas. The City Council will conduct a second Public Hearing at **6:30 p.m. on Tuesday, May 8, 2018**, at the Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135 to hear public comment and consider the proposed zoning change for the above listed property. All interested parties are encouraged to attend.

VICINITY MAP ON REVERSE

Benedict A Silverman
300 71st Street, Suite #448
Miami Beach, FL 33141

HJD Investment LLC
6352 Lake Worth Blvd.
Lake Worth, Texas 76135

Target Corporation
PO Box 9456
Minneapolis, MN 55440-9456

Retail Buildings Inc
3000 NE 63rd St
Oklahoma City, OK 73121-1202

RPAI Lake Worth Towne Crossing LP
2021 Spring Rd., Suite #200
Oak Brook, IL 60523

Trinity SGL I LP
6353 Lake Worth Blvd.
Lake Worth, Texas 76135

Manisse K Newell
100 Baywood Avenue
Hillsborough, CA 94010-6904

O'Reilly Auto Enterprises LLC
PO Box 9167
Springfield, MO 65801

Fast Vineyard LLC
108 Town Park Dr. NW
Kennesaw, GA 30144

Lutco Investments II LLC
2002 Huntcliff Ct
Allen, Texas 75013

FYI Group
101 N Tryon Street
Charlotte, NC 28246-0100

Metroplex Multifood Inc
101 E Cherokee St
Jacksonville, Texas 75766

McDonalds Corp
3303 Summergrove Drive
Arlington, Texas 76001-6566

Encore Realty Co LC
1705 W Northwest Hwy, Suite #260
Grapevine, Texas 76051

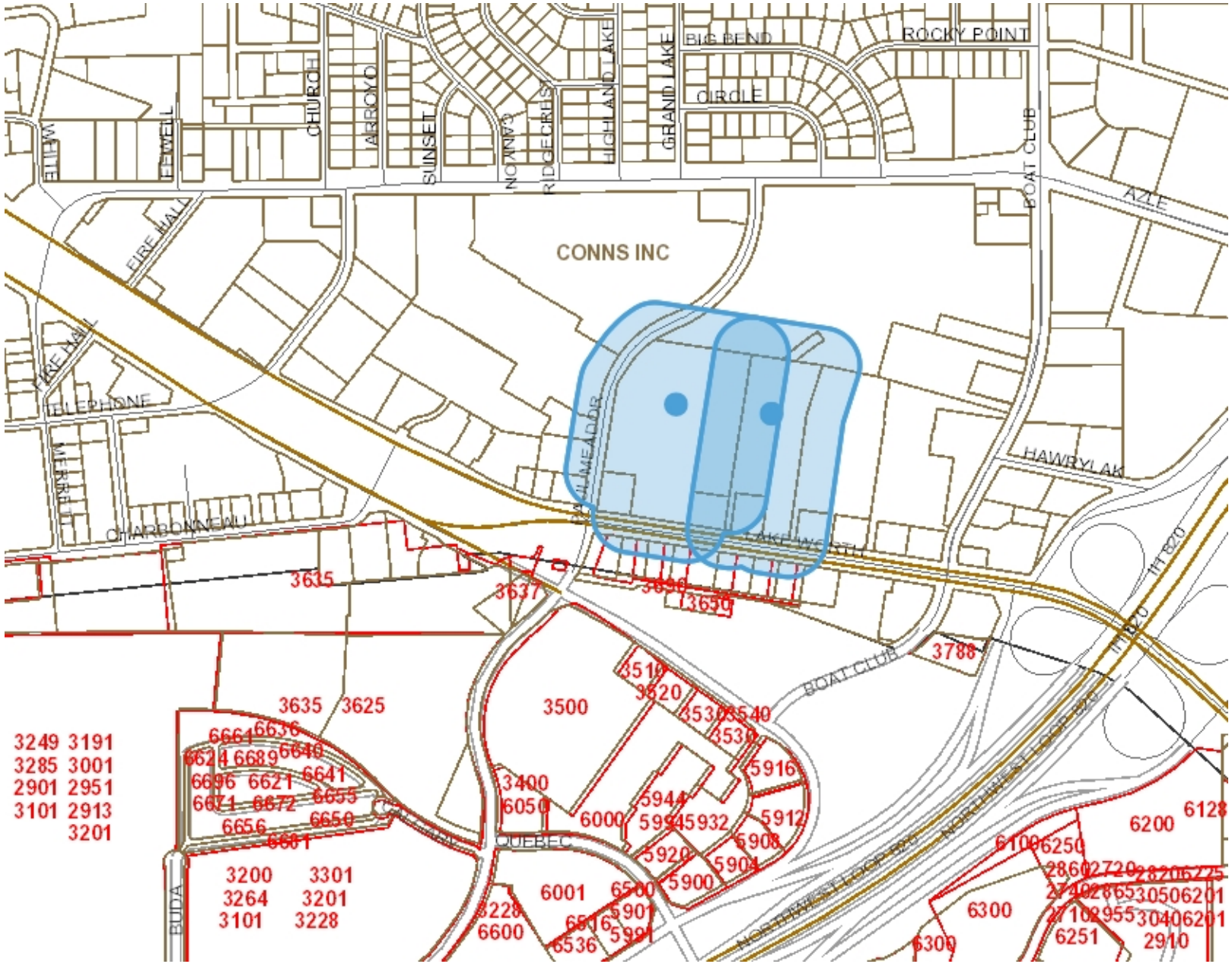
6358 Lake Worth LP
2525 McKinnon St, Suite #700
Dallas, Texas 75201

Sam's 1.25 Cleaners Inc
8617 Water Front Ct
Fort Worth, Texas 76179

North Corridor Realty Ltd
305 Spring Vlg Cr Ste #518
Dallas, Texas 75248

Discount Tire Co of Texas Inc
20225 N Scottsdale Rd
Scottsdale, AZ 85255

TSCA-335 LP
301 S Sherman St, Suite #100
Richardson, Texas 75081



Legend

- Parcels
- Lots
- Arterials
- Freeways
- Streets
- Tarrant County Streets
- Parks
- Lakes
- City Limit
- Extraterritorial Jurisdiction (ETJ)

FORT WORTH®

4/6/18 1:14 PM

1: 9,411

0.3 0 0.15 0.3 Miles

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. The City of Fort Worth assumes no responsibility for the accuracy of said data.

NCTCOG ORTHOPHOTOGRAPHY

CITY OF LAKE WORTH
PUBLIC COMMENT FORM
(Please type or use black ink)

Planning & Zoning Department at 3805 Adam Grubb, Lake Worth, Texas 76135

☒ I am **FOR** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-07.

☐ I am **AGAINST** the proposed zoning case as explained on the attached public notice for Zoning Case #PZ-2018-07.

Date, Time and Location of Planning & Zoning Commission Meeting: **Tuesday, April 17, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Date, Time and Location of City Council Meeting: **Tuesday, May 8, 2018 at 6:30 pm. - Lake Worth City Council Chambers, 3805 Adam Grubb, Lake Worth, Texas 76135**

Name: TSCA-335 Limited Partnership
(Please print)

Mailing Address: 301 S Sherman, Suite 100
Richardson, TX 75081

Lot 3R1 + 3R2
Lake Worth
Center Addition

Signature: [signature]

Date: 4/12/18

Property Address(s):
6302 - 6342 Lake Worth Blvd

COMMENTS:

PLEASE TURN IN PUBLIC COMMENT FORM NO LATER THAN
THURSDAY, APRIL 12, 2018 @ NOON TO BE INCLUDED IN THE AGENDA PACKET

RECEIVED
APR 12 2018